



City of Hartford * County of Van Buren * State of Michigan

**PLANNING COMMISSION MEETING AGENDA
DECEMBER 9, 2024
6:00 p.m.**

- 1. Call to Order**
- 2. Roll Call**
 - Ackerman; Gardner; J. Kling; T. Kling; Morales
- 3. Approval of Minutes**
 - October 14, 2024
- 4. Approval of Agenda**
- 5. Public Comment**
- 6. Unfinished Business**
 - Discuss & Consider – By-Laws Review
- 7. New Business**
 - Site Plan Review – 61827 CR 687 Casey’s General Store #4611
- 8. Any Other Business**
- 9. Adjournment**

City of Hartford
Planning Commission Meeting
October 14th, 2024, Proposed Minutes

Called to Order: 6:00pm by T. Kling

Members Present: Steve Ackerman, Peter Aranda, Gage Gardner, Jenine Kling, & Tim Kling

Members Absent: Adolfo Morales

Also Present: Nicol Brown, City Manager; Public Attendees: Andrew Fleming (Fleming Brother's Oil), & Rick Hall, Mayor

Approval of the Agenda:

Motion by Ackerman, seconded by Gardner, to approve the October 14th, 2024, agenda as presented.

Motion carried, 5 - 0

Approval of the Minutes:

Motion by Aranda, seconded by Gardner, to approve the minutes of the September 9th, 2024, meeting.

Motion carried, 5 - 0

Public Comments Not on the Agenda:

*City Manager Comments:

- Drinking Water State Revolving Fund, through Egle, re: replacing old lines with copper. Draft proposal created, putting in 11 mil. (7 mil low interest loan along with 4 mil. grant) Whiteman's completed surveys last month. Still need bonding and study's done, working with City attorney to get paperwork prepared. Will need sewer study as well, may have to increase sewer rates. T. Kling mentioned that our house line was one of the 20% that had been checked. There is still a fair amount of funds left over. They will be replacing lines from the road all the way to the houses.
- Project Compass, internet/broadband for our area. Still ongoing. Working on meeting dates. MSU Extension is going to help.
- PFAS project – R.R. still holding up projects
- R.R. crossing on N. Center St. – grant will be used to fix the crossing
- Danny Staunton, Water Operator, going part-time. He'll be available to help with special projects.

Public Hearing:

Motion by Gardner, seconded by Ackerman, to close the regular meeting & begin public hearing.

Motion carried, 5-0

Public Hearing – Consider an Ordinance to Rezone Land Commonly Known as 61827 CR 687 from Commercial to Light Industrial District

Discussed proposal presented by Casey's at last meeting, looked over existing zoning maps to have a better understanding, and discussed Spot Zoning. Rick Hall, City Mayor & public attendee, said he supports the rezoning for Casey's to come in. It will be a great addition to our community, bringing jobs and possibly enticing more businesses to the area in the future. Public attendee Andrew Fleming, representing Shell Gas Station across from the proposed Casey's building site, also supports and agrees that it will be a great addition to our community. They have no issues with them

coming in. Andrew added that Fleming Brother's Oil has always been a supporter of the Hartford community and shared that .2c per every gallon at Shell goes to the Hartford Schools. After reviewing and answering all zoning questions, T. Kling asked for a motion to be made to close the public hearing.

Motion by Gardner, seconded by Aranda, to close the public hearing and resume our regular meeting.

Motion carried, 5-0

At this time, T. Kling called for a motion to be made to recommend the rezoning to the City Commission as stated above.

Motion by Ackerman, seconded by Gardner, to recommend Considering an Ordinance to Rezone Land Commonly Known as 61827 CR 687 from Commercial to Light Industrial District to the City Commission for final approval.

Motion carried, per roll call, 5-0

Unfinished Business:

*Discuss & Consider - By-Laws Review – tabled until next meeting – Nicol & Pete still need to get together, re: to take a closer look at the other community's by-laws, red line and discuss, and then decide if we want to make any changes/additions to ours.

New Business:

*T. Kling asked if Nicol could have Roxanne print up a new contact sheet for us, with all the names and contact numbers of the City Commissioner's, Planning Commissioner's, etc. The information is available online but it's nice to have the handout with the updated information.

Other business:

*Aranda – wanted to share, per his wife and himself, that the area tree removal workers were very nice, efficient, and respectful of their property and said they deserve a shout out for work well done.

Adjournment:

Motion by Gardner, supported by Aranda, to adjourn the meeting at 6:34 pm.

Meeting adjourned by T. Kling

Respectfully submitted by: Jenine Kling, Secretary

CITY OF HARTFORD
RULES OF PROCEDURE AND BY-LAWS OF THE PLANNING COMMISSION

ARTICLE I – NAME

The name of the Commission shall be the City of Hartford Planning Commission, herein after referred to as “Commission.”

ARTICLE II – PURPOSE AND OBJECTIVES

These Bylaws are adopted by the Commission to facilitate the performance of its duties as outlined in P.A. 33 of 2008, as amended, being the Michigan Planning Enabling Act, (M.C.L. 125.3801 et seq.), hereinafter “the Planning Act.” These bylaws are also adopted to facilitate the duties of the Commission for administration of a zoning ordinance as outlined in P.A. 110 of 2006, as amended, being the Michigan Zoning Enabling Act, (M.C.L. 125.3101 et seq.), hereinafter “the Zoning Act.” Additionally, these Bylaws set forth the administration of the Hartford Planning Commission Ordinance.

Duties of the Commission

1. The Commission shall review and act on all proposed zoning ordinances and zoning amendments pursuant to the Zoning Act. At least one hearing shall be held on each proposed zoning ordinance, and amendments with notices given as specified in the zoning ordinance and the Zoning Act. After the hearing, the action shall be in the form of a recommendation to the City Council.
2. The Commission shall review and act on all special land use permits and applications pursuant to the Zoning Act and Hartford Zoning Ordinance. At least one hearing shall be held on each special use permit.
3. The Commission shall review and act on all those site plans for which the zoning ordinance requires Commission action.
4. The Commission shall not act or otherwise hear issues on zoning ordinance interpretation, zoning map interpretation, non-use variances, or use variances. Such matters shall be exclusively the jurisdiction of the Zoning Board of Appeals.

ARTICLE III - MEMBERSHIP

Members

1. The Commission shall consist of seven (7) members.
2. Members of the Commission are appointed by the Hartford City Council pursuant to the Hartford Planning Commission Ordinance.
3. Each member of the Commission's priority shall be to represent and advocate for what is

best for the City of Hartford as a whole, putting aside personal or special interests.

Attendance

If any member of the Commission is absent from three consecutive regularly scheduled meetings, then that member shall be considered delinquent. Delinquency shall be grounds for the Hartford City Council to remove a member from the Commission for nonperformance of duty or misconduct after holding a public hearing on the matter. The Commission recording secretary shall keep attendance records and notify the Hartford City Council whenever any member of the Commission is absent from three consecutive regularly scheduled meetings so the Council can consider further action allowed under law or excuse the absences.

Incompatibility of Office

1. Each member of the Commission shall avoid conflicts of interest and/or incompatibility of office. As used here, a conflict of interest shall, at a minimum, include, but not necessarily be limited to, the following:
 - a. Issuing, deliberating on, voting on, or reviewing a case concerning him or her.
 - b. Issuing, deliberating on, voting on, or reviewing a case concerning work on land owned by him or her or which is adjacent to land owned by him or her.
 - c. Issuing, deliberating on, voting on, or reviewing a case involving a corporation, company, partnership, or any other entity in which he or she is a part owner or any other relationship where he or she may stand to have a financial gain or loss.
 - d. Issuing, deliberating on, voting on, or reviewing a case is an action that results in a monetary benefit to him or her.
 - e. Issuing, deliberating on, voting on, or reviewing a case concerning his or her spouse, children, stepchildren, grandchildren, parents, brothers, sisters, grandparents, parents-in-law, grandparents-in-law, or members of his or her household.
 - f. Issuing, deliberating on, voting on, or reviewing a case where his or her employee or employer is an applicant or agent for an applicant or has a direct interest in the outcome.
2. If there is a question of whether a conflict of interest exists or not, the question shall be put before the Commission. Whether a conflict of interest exists or not shall be determined by a majority vote of the remaining members of the Commission.
3. When a conflict of interest exists, the member of the Commission or committee shall do all of the following immediately, upon first knowledge of the case and determining that a conflict exists:
 - a. declare a conflict exists at the beginning of the meeting which involves the issue in

question, and

- b. cease to participate at the Commission or committee meetings, or in any other manner, or represent one's self before the Commission, its staff, or others, and
- c. during deliberation of the agenda item before the Commission or committee, leave the meeting for the public hearing, deliberation, and vote until the agenda item is concluded.

Duties of all Members

1. *Ex Parte* Contact

- a. Members shall avoid *Ex Parte* contact about cases where an administrative decision is before the commission whenever possible.
- b. Despite one's best efforts, it is sometimes not possible to avoid *ex parte* contact. When that happens, the member should take detailed notes on what was said and report to the Commission at a public meeting or hearing so that every member and other interested parties are made aware of what was said.

2. Site Inspections

- a. The city manager or other staff shall conduct site inspections. A written report of the inspection shall be orally presented to the Commission at a public meeting or hearing on the site.
- b. If desired, no more than one member of the Commission may accompany the city manager or staff on a site inspection.

3. Not Voting on the Same Issue Twice.

Any member of the Commission shall avoid situations where they are sitting in judgment and voting on a decision they had a part in making. As used here, sitting in judgment and voting on a decision that they had a part in making, at a minimum, shall include, but not necessarily be limited to, the following:

- a. When the appeal concerns an administrative or other decision by the Commission, and the member of the Commission sits both on the Commission and the Zoning Board of Appeals.
- b. When the appeal concerns an administrative or other decision by any committee of the Commission, City Council, or other committee and the member of the Commission sits both on that committee and the Zoning Board of Appeals or both on the Commission and Zoning Board of Appeals.
- c. When the case is an administrative decision that was decided by the Commission and sent to the City Council for further action, and the member of the Commission sits both on the Commission and City Council.

4. Accepting gifts.

- a. A member of the Commission or liaisons may not accept gifts from anyone connected with an agenda item before the Commission.
- b. As used here, gifts shall mean cash, any tangible item, or service, regardless of value.
- c. This section does not apply to the Commission accepting gifts for the exercise of its functions pursuant to M.C.L. 125.3823(3), §23(3) of the Planning Act.

ARTICLE IV – OFFICERS

1. Selection. At the regular meeting in January of each year, the Commission shall select a Chair, Vice-Chair, and Secretary from its membership. All officers are eligible for reelection. If the office of the Chair becomes vacant, the Vice-Chair shall succeed to this office for the unexpired term, and the Commission shall select a successor to the office of the Vice-Chair for the unexpired term.

The City Clerk shall be the recording secretary to the Commission.

2. Tenure. The Chair, Vice-Chair, and Secretary shall take office immediately following their selection and hold office for a one-year term or until their successors are selected and assume office.
3. Chair's Duties. The Chair retains his or her ability to discuss, make motions, and vote on issues before the Commission. The Chair shall:
 - a. Preside at all meetings with all powers under parliamentary procedure;
 - b. Shall rule out of order any irrelevant remarks; personal remarks; remarks about another's race, religion, sex, physical condition, ethnic background, beliefs, or similar topics; profanity; or other remarks which are not about the topic before the Commission;
 - c. Restate all motions;
 - d. Appoint committees;
 - e. Appoint committee officers or let the committees select their own officers.
 - f. May call special meetings pursuant to Section 5.3 of these Bylaws;
 - g. Act as an Ex-Officio member of all committees of the Commission;
 - h. Review with the staff, before a Commission meeting, the items to be on the agenda if he or she so chooses;
 - i. Periodically meet with the city manager to review operations and procedures and monitor progress on various projects.
 - j. Act as the Commission's chief spokesman and lobbyist to represent the Commission at local, regional, and state government levels.
 - k. Represent the Commission before the City Council.

4. Vice-Chair's Duties. The Vice-Chair shall:
 - a. Act in the capacity of the Chair, with all the powers and duties found in Article IV (3) of these Rules, in the Chair's absence.
5. Secretary's Duties. The Secretary shall:
 - a. Be responsible for the minutes of each meeting.
 - b. Review the draft minutes.
 - c. Send the minutes to the City Clerk for the City Council's monthly council meetings.
 - d. Sign the minutes upon approval by the Commission.
 - e. Receive all communications, petitions, and reports to be addressed by the Commission, delivered, or emailed to the Recording Secretary in care of the City Manager's office.
 - f. Act in the capacity of the Chair, with all the powers and duties found in Article IV (3) of these Rules, in the absence of both the Chair and Vice-Chair.
6. Recording Secretary's Duties. The Recording Secretary shall:
 - a. Keep pertinent public records and deliver communications, petitions, reports, and related business items for the Commission.
 - b. Preparing and coordinating the delivery method to the Commission for monthly meeting packets.
 - c. Preparing and arranging to publish and mail notices of public hearings.
 - d. Performing related administrative duties to ensure efficient and informed commission operations, such as preparing an agenda for the Commission meetings and providing notice to the public and Commission for all regular and special meetings.
 - e. Perform other duties as may be appropriately requested by the commission.
 - f. Does not have to be in attendance at the meetings.

ARTICLE V – MEETINGS

1. All regular and special meetings, hearings, and records shall be open to the public and conducted under the Open Meetings Act of the State of Michigan.
2. The Commission shall meet monthly at Hartford's city hall in council chambers on the second Monday of each month. The dates and times shall be posted at the City Hall, and a notice shall be published under the Open Meetings Act.
3. The Commission shall select suitable alternate dates in the same month under the Open Meetings Act for regular meetings that fall on or near an approved holiday by the city council.
4. The Chairperson, the Vice-Chair, or any three (3) members of the Commission may call a

special meeting. Each member must receive at least two days' notice as to the time, place, and purpose of the meeting.

5. All inquiries, applications, or matters requiring official action by the Commission shall be submitted in writing, be properly drafted on official forms necessary, and contain all relevant information regarding the matter upon which the Commission is requested to act. Further, any petitioners may withdraw a petition at any time by filing a written notice of withdrawal.
6. The normal order of business at meetings shall be as follows:
 1. Call to order
 2. Roll call
 3. Approval of minutes
 4. Approval of agenda
 5. Public comment
 6. Public hearing
 7. Old business
 8. New business
 9. City Manager's report (may also be referred to as staff report)
 10. Adjournment
7. A quorum shall consist of no less than four (4) members.
8. Parliamentary procedure in Commission meetings may be informal. If necessary to keep order, Commission meetings may be governed by Roberts Rules of Order, newly revised at the chairperson's discretion.
9. All proceedings, decisions, and resolutions of the Commission shall be initiated by motion. Motions made in an administrative capacity, such as rezonings, site plan reviews, and special use permits, shall include findings of facts and reasons for the Commission's action.
10. Any motion involving the adoption or amendment of plans, policy statements, or recommendations to the Council requires an affirmative vote of a majority of those present.
11. Voting shall be by voice vote. It shall not be recorded as individual ayes or nays unless requested by a member of the Commission, in which case the Chairperson shall order the vote to be so recorded. The exception is that any member may abstain by declaring before the vote. An abstention may only be made in the case of a conflict of interest; it is otherwise the duty of all Commissioners present to participate in the vote.
12. The City Manager, City Attorney, and other city officials may participate in the Commission's discussion. Shall not vote, introduce motions, be counted towards a quorum, or initiate any other parliamentary action.

Special Meetings

A special meeting may be called by three (3) members of the Planning Commission upon written

request to the Secretary or by the Chairperson. The business to which the Planning Commission may perform shall be conducted at a public meeting of the Planning Commission held in compliance with the Open Meetings Act. Public Notice of the time, date, and place of the special meeting shall be given in a manner as required by the Open Meetings Act, and the Secretary shall send written notice of a special meeting to commission members not less than forty-eight (48) hours in advance of the meeting.

ARTICLE VI – PROCEDURES

1. Applications shall be made by the owner or parties with substantial interest and rights in the premises affected, provided that the owner consents to the request. The applicant may appear on his/her behalf or may be represented by his/her attorney or agent at the hearing.

Applications and all required supporting documentation must be submitted to the Recording Secretary by the filing deadline. Applicants will be provided with instructions that include the filing deadline. Failure to submit a complete application and/or any required component will result in the case being withdrawn.

City staff shall provide applications and associated staff reports to the Commission at least five days before the meeting, including the agenda item(s).

2. The usual order of procedure of a public hearing shall be:
 - 1) The Chairperson shall move to open the public hearing and explain the procedure.
 - 2) Applicant presents his/her petition.
 - 3) The public in favor and/or opposed to the proposed change are heard.
 - 4) Closing of public hearing – motion to close shall require majority concurrence for each petition.
 - 5) Discussion by Commissioners and opportunity to ask the petitioner questions.
 - 6) Motion and decision by Commissioners.

ARTICLE VII – DISPOSITION AND RECORD

The applicant shall be advised of the decision in writing within five (5) days of the final hearing and decision. The Commission shall keep, or cause to be maintained, a permanent record of Commission meetings and decisions, which shall, at a minimum, include:

- a. A copy of the meeting posting pursuant to P.A. 267 of 1976, as amended (being the Michigan Open Meetings Act, M.C.L. 15.261 et seq.)
- b. A copy of the minutes and all their attachments shall include a summary of the meeting in chronological sequence of occurrence.
- c. Records of any action, support documents, maps, site plans, photographs, and correspondence received, attached as an appendix to the minutes

ARTICLE VIII - COMMITTEES

Ad Hoc Committees

The Commission or Chair may establish and appoint ad hoc committees for special purposes or issues deemed necessary. The ad hoc committee must consist of less than a quorum.

Citizen Committees

1. The Commission, Chair, or City Manager may establish and appoint citizen committees with the consent of the Commission. Membership can be any number, so long as less than a quorum of the Commission serves on a citizen committee at any given time. The citizen committee's purpose is to use individuals who are knowledgeable or expert in a particular issue before the Commission or better to represent various interest groups in the City of Hartford.
2. All committees are subservient to the Commission and report their recommendations to the Commission for review and action. The Commission can overrule any action of any committee.
3. The same principles of these Bylaws for the Commission also apply to all its committees, including, but not limited to, making all meetings open to the public and keeping a record of all proceedings.

ARTICLE IV – ADOPTION AND AMENDMENTS

Upon adoption of these Bylaws of _____, they shall become effective, and all previous Bylaws shall be repealed. These Bylaws may be amended at any regular or special meeting by a two-thirds (2/3) vote of the members present.



December 2, 2024

CO: Planning Commission Chair
City of Hartford
19 West Main Street
Hartford, MI 49057

RE: Planning & Zoning Site Plan Review - Site Improvements for Casey's #4611

The City of Hartford's Planning & Zoning Department has received a Site Plan Review application dated November 14, 2024. The application, submitted on behalf of Erik Nikkel, proposes the construction of a 4,730-square-foot convenience store and gas station. The site, comprising 3.323 acres, is located at the southernmost portion of the city, at the northwestern intersection of I-94 and County Road 687. The subject parcel, addressed as 61827 County Road 687, is currently zoned B-2 General Business. Furthermore, the site is pending a conditional rezoning to Light Industrial, as recommended during the October 14, 2024, Planning Commission meeting.

Parcels:

80-52-822-003-00 (Parcel 1) and
80-52-822-001-05 (Portion of Parcel 2)

Use:

Section 151.091 & 151.106 Permitted Uses, lists all generally recognized retail businesses are permitted as a principal use.

Site Plan Review:

The necessity for a Site Plan Review is required per 151.251 of the Code of Ordinances, (B) Any Development, for which off-street parking is provided.

Standards for Site Plan Review

The Code of Ordinances, Section 151.254 Standards for Site Plan Review, outline the following criteria the site must comply with for Site Plan Review Approval from the Planning Commission:

- 1) Single-Family Development on the basis of subdivisions: **N/A**
- 2) The location and design of the driveway providing vehicular ingress and egress from the site, in relation to streets giving access to the site, and in relation to the pedestrian traffic; **Complies**
- 3) The traffic circulation features within the site and location of automobile parking areas, and may make requirements with respect to these matters as will assure;
 - a. Safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets; **Complies**
 - b. Satisfactory and harmonious relationships between the development on the site and the existing prospective development on contiguous land and adjacent neighborhoods.
Complies



- 4) The Planning Commission may further require landscaping, fences, and walls in the pursuance of these objectives, and the same shall be provided and maintained as a condition to the establishment and the continued maintenance of any use which they are appurtenant. **Complies**

Area, Height, and Bulk Requirements

Section 151.180 Site Plan Required provides design criteria for structures constructed in the B-2 General Business District.

(E) B-2 General Business District

- 1) Minimum Lot Area: none; **Complies**
- 2) Minimum Lot Width: none; **Complies**
- 3) Maximum Structure Height: 2 and Vi Stories, but no more than 35 ft: 21'-4"
Complies
- 4) Minimum Yard Setbacks
 - a. Front: None; **Complies**
 - b. Rear: Loading Space requirements 10 SF per Building Frontage. **N/A**
- 5) Maximum Percentage of Lot Area coverage; **N/A**

Planning Staff Findings

- Provide an Enlarged Photometric Plan
- Provide Diagrams & Cross sections of the following:
 - Gas Canopy
 - Typical bollards
 - Dumpster screening & materials
 - Parking Stall diagram and dimensions
- Provide Building and Canopy Elevations, materials, and colors;
- All proposed signs must be reviewed and approved by a Sign Application; no proposed signs are approved with this review.

Rezoning Recommendation

On October 14, 2024, the Planning Commission held a public hearing to review and provide a recommendation regarding the proposed rezoning of the subject parcel from General Business to Light Industrial to accommodate the proposed convenience store and gas station. Following the hearing, the Planning Commission recommended that the City Council approve the rezoning request.



Engineering Staff Findings

Mickey Bittner GoWightman

1. Sheet 5 shows the removal of the existing 6" sanitary sewer service lateral. Sheet 11 shows a new sanitary service connecting to the manhole. The existing lateral may be shortened to connect closer to the existing manhole. If the designer desires a new connection to the manhole, the invert of the new service may be a **maximum of 2.00' above** the lowest invert in the manhole (2' above 664.76, or 666.76).
2. The designer should specify that the 2" water service be installed by directional drilling, or moling the service, to avoid disruption to traffic. The water service must be Type K copper. The City will need to approve the curb stop model and meter prior to installation. All fittings within the public right-of-way must be compression fittings.
3. The designer may want to consider adding MDOT "Type M" openings to the driveways to help convey storm water. The southern driveway has substantial grade but the northern driveway will be prone to localized ponding where it meets the road. However, this falls under the jurisdiction of the Van Buren County Road Commission (VBCRC) and the developer will need to obtain their approval prior and driveway permit to construction.
4. Note #9 on Sheet 6 states the dumpster enclosure detail is within the architectural plans, which have not been provided to me. That should be provided to confirm proper screening.
5. While the property is within the City Limits of the City of Hartford, this section of CR 687 is under the jurisdiction of the VBCRC. The developer should submit the plans and traffic impact study to the VBCRC for driveway permits if they haven't already done so.

Recommendation

Based on the information provided, we recommend approval of the applicant's Site Plan Review for the proposed convenience store and gas station at 61827 County Road 687, subject to conditions. Final site plan approval is contingent upon the applicant addressing the following issues through a revised site plan submission:

- 1) Provide a site plan that meets all requirements identified in the Staff Findings of this Technical Report.
- 2) Provide a revised submission to that meets all comments identified in the Engineering Staff Findings & Review for final approval
- 3) Submit Sign Applications for all proposed ground and wall mounted signs.

Additional comments may be provided based on the applicant's revised submission.

Respectfully submitted,

McKenna

Donovan Smith
Principal Planner



CITY OF HARTFORD

APPLICATION FOR SITE PLAN REVIEW

Name of Applicant: Erik Nikkel (Casey's General Store) Phone: 515.381.5722 Cell: 515.238.2657

Applicant's Address: 3305 SE Delaware Avenue Ankeny, IA 50021 Email Address: erik.nikkel@caseys.com

Address of Property to be Developed/Occupied: 61827 County Road 687 Hartford, MI

Name of Proposed Development: Casey's General Store #4611

Name and address of every other person, firm or corporation having legal equitable interest in the property: (Attach additional sheets if necessary).

Name: Laurance Lane (CESO, Inc.) Address: 216 Centerview Dr. #150 Brentwood, TN, 37027 615-206-5740
laurance.lane@cesoinc.com

Name: _____ Address: _____

Legal Description: See Attached for full legal description.

Zoning Classification: Light Industrial Parcel(s)# 80-52-822-003-00 (Parcel 1) and 80-52-822-001-05 (Portion of Parcel 2)

Parcel Size: (Road Frontage) 396.37' (Lot Depth) 341.70' (Acreage) 3.323

Proposed Use of Property: C-store/Fuel Stations

Proposed or Type of Construction: C-store/Fuel Stations

Total Cost of Development: \$ 1,850,000 Construction Time: Spring- Fall 2025

I(we),the undersigned, do hereby respectfully make an application and petition for site plan review under the provisions of the ordinances of the City of Hartford and in support of the application the information as required by Section151-250 of the Zoning Ordinance has been provided.

Signature Erik Nikkel Date: 11/14/2024

Signature Laurance Lane Date: 11/14/2024

For Office Use: Fee: _____ Paid: _____ Hearing Date: _____

Planning & Zoning Meeting Date: _____ Approved _____ Denied _____
City Commission Meeting Date: _____ Approved _____ Denied _____

EXHIBIT "A" LEGAL DESCRIPTION

(See surveyor notes for Title Commitment information.)

The land referred to in this commitment, situated in the City of Hartford, County of Van Buren, and State of Michigan, is described as follows:

Parcel 1:

Part of the Northwest 1/4 of Section 22, Town 3 South, Range 16 West, described as beginning at a point on the West line of said Section 22 which is North 00 degrees 27 minutes 50 seconds West 342.30 feet from the West 1/4 post of said Section; thence North 89 degrees 32 minutes 10 seconds East 333.00 feet; thence South 00 degrees 27 minutes 50 seconds East parallel with said West line, 294.40 feet to the Northerly line of Highway I-94 right of way; thence North 77 degrees 30 minutes 19 seconds West along same, 341.70 feet to said West Section line; thence North 00 degrees 27 minutes 50 seconds West along same, 217.77 feet to the point of beginning.

Parcel 2:

Commencing at the North 1/4 post of Section 22, Town 3 South, Range 16 West and running thence South 00 degrees 26 minutes 08 seconds East along the North and South 1/4 line of said Section, a distance of 1319.50 feet to the East and West 1/8 line in the Northwest 1/4 of said Section; thence North 89 degrees 51 minutes 25 seconds West along said line, 300.00 feet for the Place of Beginning of the land herein described; thence continuing North 89 degrees 51 minutes 25 seconds West along said 1/8 line, 150.00 feet; thence South 00 degrees 26 minutes 08 seconds East, parallel with the North and South 1/4 line in said Section, 450.00 feet; thence South 89 degrees 51 minutes 25 seconds East, parallel with said 1/8 line, 200.00 feet; thence North 00 degrees 26 minutes 08 seconds West, parallel with said 1/4 line, 175.00 feet; thence North 89 degrees 51 minutes 25 seconds West, parallel with said 1/8 line, 50.00 feet; thence North 00 degrees 26 minutes 08 seconds West, parallel with said 1/4 line, 275.00 feet to beginning.

AND

Commencing at the Northwest corner of Section 22, Town 3 South, Range 16 West; thence South 89 degrees 50 minutes East along the North Section line 417.53 feet to beginning; thence South 00 degrees 27 minutes 50 seconds East parallel with the West Section line 600 feet; thence North 89 degrees 50 minutes West parallel with the North Section line 417.50 feet to the West Section line; thence South 00 degrees 27 minutes 50 seconds East along the West Section line to the Northerly line of I-94 Highway; thence Easterly along said Northerly line to the North and South 1/4 line; thence North 00 degrees 26 minutes 08 seconds West along said 1/4 line 768.66 feet; thence North 89 degrees 51 minutes 25 seconds West parallel with the South line of the Northeast 1/4 of the Northwest 1/4 of Section 450.00 feet; thence North 00 degrees 26 minutes 08 seconds East parallel with said 1/4 line 450.0 feet to the South line of the Northeast 1/4 of the Northwest 1/4; thence South 89 degrees 51 minutes 25 seconds East on same 450.0 feet to the North and South 1/4 line; thence North 00 degrees 26 minutes 08 seconds West along said 1/4 line 659.75 feet to the South line of the North 1/2 of the Northeast 1/4 of the Northwest 1/4; thence North 89 degrees 50 minutes 35 seconds West along said South line 1826.80 feet; thence North 00 degrees 10 minutes East 445.87 feet to the Southerly line of 60th Avenue; thence North 89 degrees 50 minutes West along said Southerly line 8.44 feet; thence North 61 degrees 12 minutes West along said Southerly line 447.64 feet to the North Section line; thence North 89 degrees 50 minutes West along the North Section line 1.67 feet to beginning.

EXCEPT beginning on the West Section line North 00 degrees 27 minutes 50 seconds West 342.3 feet from the West 1/4 post of Section; thence North 89 degrees 32 minutes 10 seconds East 333 feet; thence South 00 degrees 27 minutes 50 seconds East 294.40 feet to the Northerly line of I-94 Highway; thence North 77 degrees 30 minutes 19 seconds West along said Northerly line 341.70 feet to the West Section line; thence North 00 degrees 27 minutes 50 seconds West on same 217.77 feet to beginning.

ALSO EXCEPT commencing at the North 1/4 post of Section 22, Town 3 South, Range 16 West; thence South 00 degrees 26 minutes 08 seconds East on the North and South 1/4 line 659.75 feet to the North line of the South 1/2 of the Northeast 1/4 of the Northwest 1/4 of Section and beginning; thence North 89 degrees 50 minutes 35 seconds West on same 395.69 feet; thence South 00 degrees 26 minutes 59 seconds East 659.84 feet to the East and West 1/8 line; thence South 89 degrees 51 minutes 25 seconds East on same to the North and South 1/4 line; thence North 00 degrees 26 minutes 08 seconds West on said 1/4 line to beginning.

Parcel No.: 80-52-822-003-00 (Parcel 1) and 80-52-822-001-05 (Parcel 2)

The Property address and tax parcel identification number listed are provided solely for informational purposes, without warranty as to accuracy or completeness and are not hereby insured



Table with 2 columns: Description, Value. Includes Project Number (76449), Scale, Drawn By, Checked By, Issue Date, Drawing Title, and PERMIT SET.

C-002

UTILITY NOTES

- 1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES... 2. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 14 WORKDAYS BEFORE ANY EXCAVATION TO LOCATE ALL EXISTING UTILITIES... 3. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY OF ANY EXISTING UTILITIES THAT MAY BE AFFECTED BY THE PROPOSED IMPROVEMENTS... 4. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT HIS COST TO THE OWNER... 5. ALL UTILITY WORK SHALL BE COMPLETED BEFORE INSTALLATION OF PROPOSED UTILITIES... 6. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS... 7. CONTRACTOR SHALL MAINTAIN THE UTILITY AUTHORITY'S PROPERTY MARKERS... 8. WATER AND SANITARY UTILITIES SHALL HAVE TEN (10) FEET OF HORIZONTAL CLEARANCE WHEN PARALLEL OR 18" VERTICAL CLEARANCE WHEN CROSSING... 9. IF A WATER LINE PASSES UNDER THE SANITARY MAINS, THE OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SANITARY MAINS... 10. UNDESIRABLE LINES SHALL BE IDENTIFIED, INSPECTED AND APPROVED BEFORE BACKFILLING... 11. THE CONTRACTOR SHALL MAINTAIN THE UTILITY AUTHORITY'S PROPERTY MARKERS... 12. UTILITY TRENCHES WITHIN PAVED AREAS TO BE REPAIRED PER UTILITY TRENCHING DETAIL PROVIDED WITHIN THE CONSTRUCTION DETAILS SHEET... 13. ALL UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION STANDARDS AND STATE REGULATIONS... 14. INSTALL ALL WATER LINES WITH AN MINIMUM COVER OF 3'-0"
ON-SITE WATER LINE MATERIAL SHALL BE AS FOLLOWS:
MATERIAL PRESSURE RATING PIPE SPEC FITTINGS INSTALLATION ACCEPTABLE AREAS OF USE
HIGH DENSITY POLYETHYLENE (HDPE) 200 PSI ASTM D2001 2" ASTM D2001 2" ON SITE, F D/W
COPPER 1/2" TYPE "K" ASTM B88 AWWA C900 AWWA C900 DOMESTIC WATER LINES 1/2"
PE 470 200 PSI ASTM D3035 ASTM D3035 ON SITE, F TO 2' 3/4"
POLYETHYLENE GLASS REINFORCED (PEFR) 200 PSI AWWA C201 AWWA C201 ON SITE, F (FUSE LINE LINES & STORM SEWER)
DUCTILE IRON PIPE (DIP) 150 PSI AWWA C150 AWWA C150 6" FIFE FIVE FOOT LEMDS
PE 470 200 PSI AWWA C201 AWWA C201 ON SITE, F D/W AND LARGER
POLYPROPYLENE (PP) 200 PSI AWWA C201 AWWA C201 ON SITE, F D/W AND LARGER
PLASTIC (PP) AWWA C201 AWWA C201 ON SITE, F D/W AND LARGER
MATERIAL PRESSURE RATING PIPE SPEC FITTINGS INSTALLATION ACCEPTABLE AREAS OF USE
POLY VINYL CHLORIDE (PVC) 80 PSI ASTM D3034 ASTM D3034 ON SITE, F D/W (LESS THAN 8" OF COVER
POLY VINYL CHLORIDE (PVC) 80 PSI ASTM D3034 ASTM D3034 ON SITE, F TO 4" F D/W
POLY VINYL CHLORIDE (PVC) 80 PSI ASTM D3034 ASTM D3034 ON SITE, F TO 4" F D/W
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POLY VINYL CHLORIDE (PVC) 80 PSI ASTM D3034 ASTM D3034 ON SITE, F TO 4" F D/W

GRADING NOTES

- 1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES... 2. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 14 WORKDAYS BEFORE ANY EXCAVATION TO LOCATE ALL EXISTING UTILITIES... 3. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY OF ANY EXISTING UTILITIES THAT MAY BE AFFECTED BY THE PROPOSED IMPROVEMENTS... 4. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT HIS COST TO THE OWNER... 5. ALL UTILITY WORK SHALL BE COMPLETED BEFORE INSTALLATION OF PROPOSED UTILITIES... 6. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS... 7. CONTRACTOR SHALL MAINTAIN THE UTILITY AUTHORITY'S PROPERTY MARKERS... 8. WATER AND SANITARY UTILITIES SHALL HAVE TEN (10) FEET OF HORIZONTAL CLEARANCE WHEN PARALLEL OR 18" VERTICAL CLEARANCE WHEN CROSSING... 9. IF A WATER LINE PASSES UNDER THE SANITARY MAINS, THE OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SANITARY MAINS... 10. UNDESIRABLE LINES SHALL BE IDENTIFIED, INSPECTED AND APPROVED BEFORE BACKFILLING... 11. THE CONTRACTOR SHALL MAINTAIN THE UTILITY AUTHORITY'S PROPERTY MARKERS... 12. UTILITY TRENCHES WITHIN PAVED AREAS TO BE REPAIRED PER UTILITY TRENCHING DETAIL PROVIDED WITHIN THE CONSTRUCTION DETAILS SHEET... 13. ALL UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION STANDARDS AND STATE REGULATIONS... 14. INSTALL ALL WATER LINES WITH AN MINIMUM COVER OF 3'-0"
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COPPER 1/2" TYPE "K" ASTM B88 AWWA C900 AWWA C900 DOMESTIC WATER LINES 1/2"
PE 470 200 PSI ASTM D3035 ASTM D3035 ON SITE, F TO 2' 3/4"
POLYETHYLENE GLASS REINFORCED (PEFR) 200 PSI AWWA C201 AWWA C201 ON SITE, F (FUSE LINE LINES & STORM SEWER)
DUCTILE IRON PIPE (DIP) 150 PSI AWWA C150 AWWA C150 6" FIFE FIVE FOOT LEMDS
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MATERIAL PRESSURE RATING PIPE SPEC FITTINGS INSTALLATION ACCEPTABLE AREAS OF USE
POLY VINYL CHLORIDE (PVC) 80 PSI ASTM D3034 ASTM D3034 ON SITE, F D/W (LESS THAN 8" OF COVER
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POLY VINYL CHLORIDE (PVC) 80 PSI ASTM D3034 ASTM D3034 ON SITE, F TO 4" F D/W

SITE NOTES

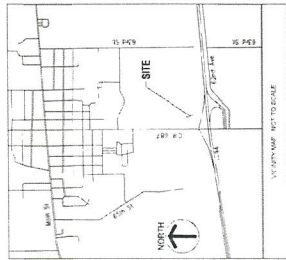
- 1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY, STATE AND FEDERAL REGULATIONS AND STANDARDS... 2. ALL MATERIAL NOTED ON DRAWINGS WILL BE SUPPLIED BY THE CONTRACTOR UNLESS OTHERWISE NOTED... 3. CONTRACTOR SHALL MAINTAIN ALL RECORDS AND DRAWINGS FOR THE DURATION OF THE PROJECT... 4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CHECK ALL GOVERNING AGENCIES' REGULATIONS... 5. THE CONTRACTOR SHALL MAINTAIN ALL RECORDS AND DRAWINGS FOR THE DURATION OF THE PROJECT... 6. THE CONTRACTOR SHALL MAINTAIN ALL RECORDS AND DRAWINGS FOR THE DURATION OF THE PROJECT... 7. ACCESSIBILITY STANDARDS SHALL BE ACCORDANCE WITH FEDERAL AND LOCAL REQUIREMENTS FOR HANDICAP ACCESSIBILITY... 8. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER... 9. ALL DIMENSIONS AND MARKERS TO THE EDGE OF PAVEMENT OR FACE OF BUILDING AS APPLICABLE... 10. PROVIDE SIGNAGE AND STRIPING AS SHOWN... 11. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL COMPLY WITH THE CONSTRUCTION MANUAL... 12. REFER TO MECHANICAL PLANS FOR EQUIPMENT LAYOUT... 13. REFER TO ELECTRICAL PLANS FOR ELECTRICAL WORK... 14. REFER TO GEOTECHNICAL ENGINEERING REPORT FOR SITE WORK PREPARATION RECOMMENDATIONS AND FOUNDATION SECTIONS... 15. REFER TO ORIGINAL SURVEY PROVIDED BY CESO, INC DATED AUGUST 27TH, 2014... 16. THE CONTRACTOR SHALL FOLLOW ALL LOCAL REQUIREMENTS AND REGULATIONS FOR FILLING AND DISPOSING OF EXCESS EARTH MATERIAL... 17. THE CONTRACTOR SHALL FOLLOW ALL LOCAL REQUIREMENTS AND REGULATIONS FOR FILLING AND DISPOSING OF EXCESS EARTH MATERIAL... 18. THE CONTRACTOR SHALL FOLLOW ALL LOCAL REQUIREMENTS AND REGULATIONS FOR FILLING AND DISPOSING OF EXCESS EARTH MATERIAL...

QUANTITIES SUMMARY

Table with 4 columns: ITEM, QUANTITY, UNIT, QUANTITY. Lists items like WATER QUALITY DEVICE, EARTHWORK CUT & HILL, EARTHWORK CUT & FILL, etc.

GENERAL NOTES

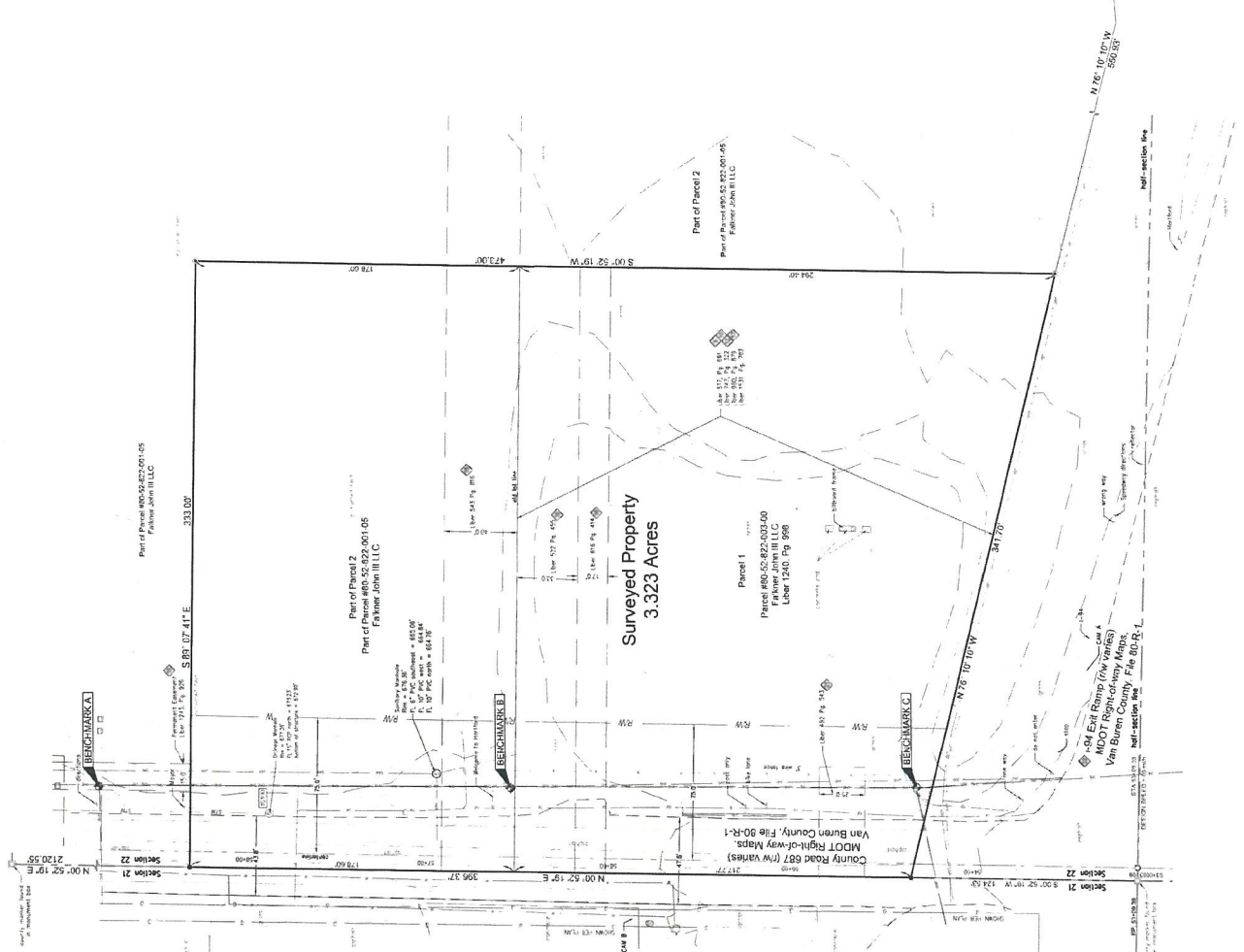
- 1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CHECK ALL GOVERNING AGENCIES' REGULATIONS... 2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CHECK ALL GOVERNING AGENCIES' REGULATIONS... 3. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CHECK ALL GOVERNING AGENCIES' REGULATIONS... 4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CHECK ALL GOVERNING AGENCIES' REGULATIONS... 5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CHECK ALL GOVERNING AGENCIES' REGULATIONS... 6. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CHECK ALL GOVERNING AGENCIES' REGULATIONS... 7. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CHECK ALL GOVERNING AGENCIES' REGULATIONS... 8. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CHECK ALL GOVERNING AGENCIES' REGULATIONS... 9. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CHECK ALL GOVERNING AGENCIES' REGULATIONS... 10. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CHECK ALL GOVERNING AGENCIES' REGULATIONS... 11. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CHECK ALL GOVERNING AGENCIES' REGULATIONS... 12. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CHECK ALL GOVERNING AGENCIES' REGULATIONS... 13. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CHECK ALL GOVERNING AGENCIES' REGULATIONS... 14. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CHECK ALL GOVERNING AGENCIES' REGULATIONS... 15. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CHECK ALL GOVERNING AGENCIES' REGULATIONS... 16. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CHECK ALL GOVERNING AGENCIES' REGULATIONS... 17. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CHECK ALL GOVERNING AGENCIES' REGULATIONS... 18. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CHECK ALL GOVERNING AGENCIES' REGULATIONS...



- SURVEY MONUMENT LEGEND**
- ★ 1/8" Iron Pin Set, Iron CSD, Inc.
 - Iron Pin Found, No Description
 - ⊙ Rusted Steel Pin
 - ⊞ Monument Found in Description
 - PVC Nails/Spikes Set
 - ◆ Benchmark, 2x4

- TOPOGRAPHIC LEGEND**
- Power Pole
 - Gas Valvehead
 - Junction Manhole
 - Storm Manhole
 - Gas Catch Basin
 - Fire Hydrant
 - Water Valve
 - Water Well
 - Telephone Manhole
 - Stormwater Well
 - Railroad
 - Pier
 - Sign

- UTILITY SYMBOLS**
- Gas Line (Per Plan)
 - Water Line (Per Plan)
 - Underground Electric (Per Plan)
 - Sewer Line (Per Plan)
 - Storm Sewer
 - Hydraulic
 - Fence Line



Casey's General Store

61027 County Road 687
City of Hartford, Van Buren County, Michigan

Drawing Title
ALTAMPS Land Title Survey

Project Number
76449

Scale
1" = 40'

Checked By
CJT

Date
01/16/2024

Issue
Issue

Drawing Title
ALTAMPS Land Title Survey

C-004

BENCHMARK

Van Buren County, Michigan
Benchmarks are set to the north-south datum of 1983
datum from GPS Observations.

BM 'A':
Bench is set to the north-south datum of 1983
datum from GPS Observations. BM 'A' is located
at the northeast corner of the surveyed property
and is set to the north-south datum of 1983
datum from GPS Observations.
Elevation = 677.48'

BM 'B':
Bench is set to the north-south datum of 1983
datum from GPS Observations. BM 'B' is located
at the southeast corner of the surveyed property
and is set to the north-south datum of 1983
datum from GPS Observations.
Elevation = 677.48'

BM 'C':
Bench is set to the north-south datum of 1983
datum from GPS Observations. BM 'C' is located
at the southwest corner of the surveyed property
and is set to the north-south datum of 1983
datum from GPS Observations.
Elevation = 677.48'



CASEY'S #4611
 HARTFORD, MI
 61227 COUNTY ROAD 687
 HARTFORD, MICHIGAN 49057

Project Number: 784449
 Scale: AS SHOWN
 Drawn By: DFC
 Checked By: MS
 Date: 08/06/2024
 Description: DEMOLITION PLAN
 Permit Set

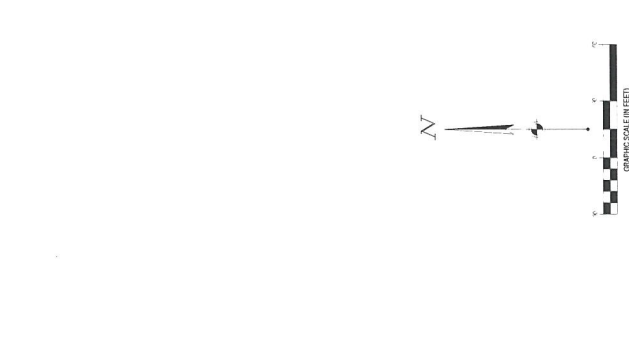
C-100

DEMOLITION LEGEND

EXISTING
 REFER TO KEY FOR EXISTING FEATURES LEGEND

PROPOSED
 REMOVE EXISTING ASPHALT
 REMOVE EXISTING CONCRETE (NOT INDICATED ON THE PLANS)
 SAWCUT LINE
 UTILITY LINE TO BE REMOVED / ABANDONED
 REMOVE EXISTING CURB & GUTTER
 REMOVE EXISTING FENCE
 LIMITS OF DISTURBANCE

- CONTRACTOR NOTE:**
- CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES
 - PROTECT EXISTING UTILITY (UNSTRUCTURE TO REMAIN) CONTRACTOR TO PROTECT IN PLACE
 - PROTECT EXISTING SIGN TO REMAIN
 - SAWCUT SIDEWALK, CURB OR PAVEMENT TO FULL DEPTH
 - REMOVE EXISTING PAVEMENT/SIDEWALK
 - REMOVE EXISTING UTILITY (UNSTRUCTURE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY)
 - REMOVE EXISTING FENCE
 - REMOVE EXISTING SIGN AND BASE
 - REMOVE EXISTING SITE FEATURE
 - REMOVE EXISTING WELL CONTRACTOR TO CAP AND ABANDON PER LOCAL HEALTH DEPARTMENT
 - EXISTING SIGN TO BE RELOCATED CONTRACTOR TO SHALL COORDINATE FINAL LOCATION WITH THE AUI
 - EXISTING ELECTRIC EXHIBIT TO BE VACATED
- CODED NOTES:**
-

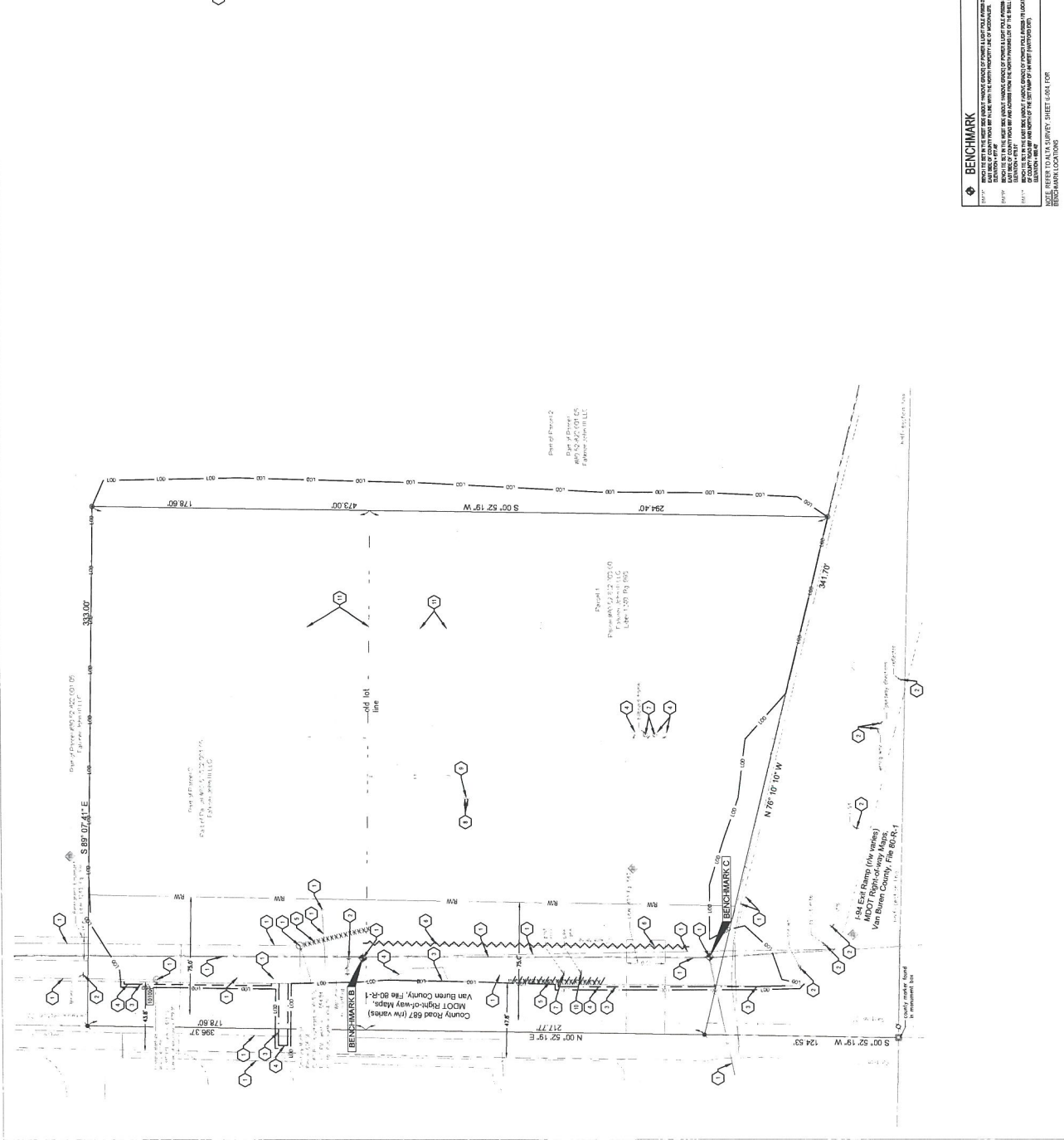


BENCHMARK

EVERY TWO (2) INCHES OF CONSTRUCTION SHALL BE CHECKED FOR ACCURACY. THE CONTRACTORS SHALL VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES.

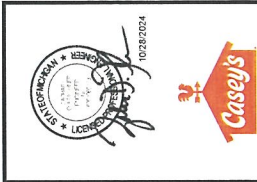
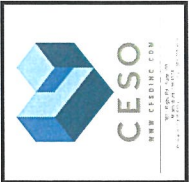
MISSIG 811

GRAPHIC SCALE (IN FEET)
 1" = 30'



BENCHMARK

EVERY TWO (2) INCHES OF CONSTRUCTION SHALL BE CHECKED FOR ACCURACY. THE CONTRACTORS SHALL VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES.



61827 COUNTY ROAD 687
HARTFORD, MICHIGAN 49057

CASEY'S #4611

Project Number: 78449
Scale: AS SHOWN
Drawn By: JMS
Date: 08/09/2024
Issue: PERMIT SET

Storm Details
C-202

PROPOSED LAYOUT

NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL MATERIALS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
3. ALL MATERIALS SHALL BE SUBMITTED FOR APPROVAL BY THE LOCAL HEALTH DEPARTMENT.
4. ALL MATERIALS SHALL BE SUBMITTED FOR APPROVAL BY THE LOCAL HEALTH DEPARTMENT.

PROPOSED ELEVATIONS

1	1.00	1.00
2	1.00	1.00
3	1.00	1.00
4	1.00	1.00
5	1.00	1.00
6	1.00	1.00
7	1.00	1.00
8	1.00	1.00
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97	1.00	1.00
98	1.00	1.00
99	1.00	1.00
100	1.00	1.00

StormTech logo

ACCEPTABLE FILL MATERIALS: STORMTECH SC-300 CHAMBER SYSTEMS

ASHTO MATERIAL CLASSIFICATIONS

DESCRIPTION

MATERIAL LOCATION

NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL MATERIALS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
3. ALL MATERIALS SHALL BE SUBMITTED FOR APPROVAL BY THE LOCAL HEALTH DEPARTMENT.
4. ALL MATERIALS SHALL BE SUBMITTED FOR APPROVAL BY THE LOCAL HEALTH DEPARTMENT.

StormTech logo

PROJECT INFORMATION

PROJECT NO.	78449
DRAWN BY	JMS
CHECKED BY	JMS
DATE	08/09/2024
ISSUE	PERMIT SET

Advanced Drainage Systems, Inc.

CASEY'S #4611 61827 COUNTY RD. 687
HARTFORD, MI

SC-300 STORMTECH CHAMBER SPECIFICATIONS

GENERAL NOTES

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4. ALL MATERIALS SHALL BE SUBMITTED FOR APPROVAL BY THE LOCAL HEALTH DEPARTMENT.

NOTES FOR CONSTRUCTION EQUIPMENT

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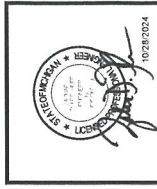
StormTech logo

PROPOSED LAYOUT

NOTES

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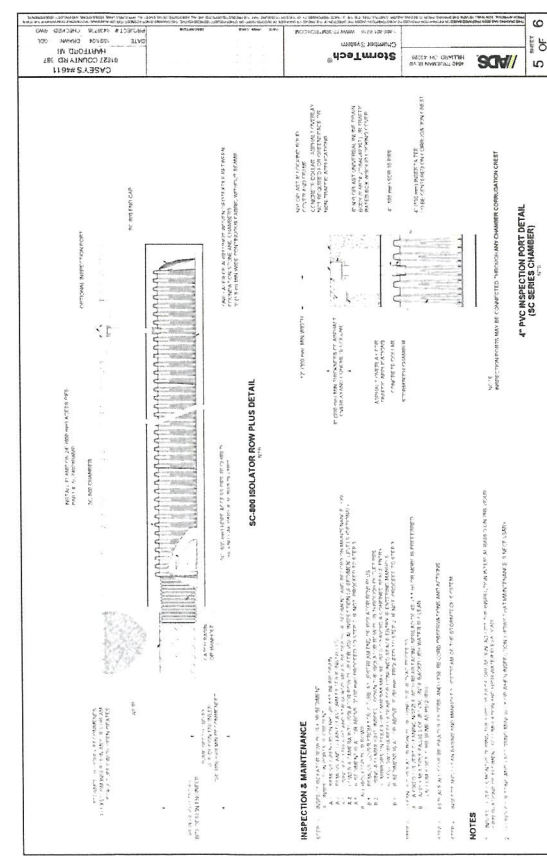
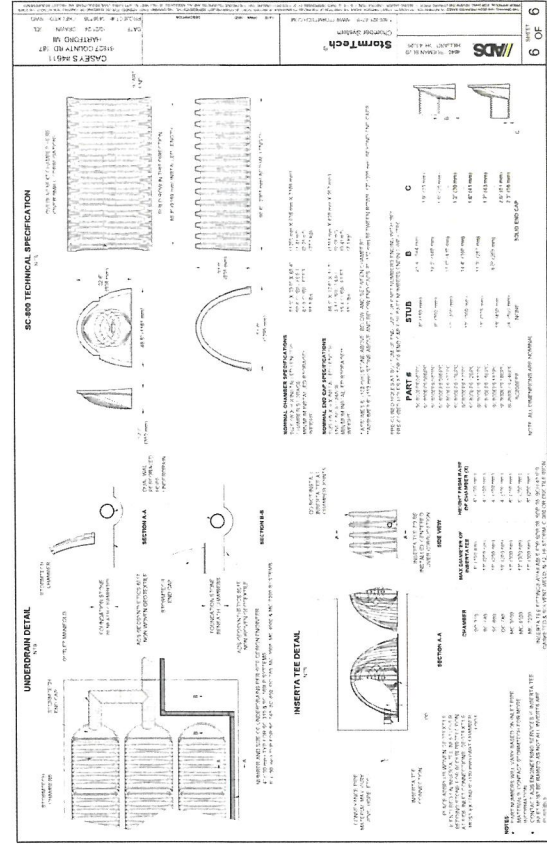
StormTech logo



CASEY'S #4611
 HARTFORD, MI
 61827 COUNTY ROAD 687
 HARTFORD, MICHIGAN 48057

Project Number: 16449
 State: MI
 Checked By: JMS
 Date: 08/06/2024
 Issue: PERMIT SET

Revision / Submittal Date
 Drawing Title: STORM DETAILS
 C-203



StormTech
 6 OF 6

StormTech
 5 OF 6



CASEY'S #4611

HARTFORD, MI
61227 COUNTY ROAD 887
HARTFORD, MICHIGAN 49057

Date: _____
Revisions / Commissioners

Project Number: 764449
Scale: AS SHOWN
Drawn By: JMS
Checked By: JMS
Date: 08/06/2024
Issue: PERMIT SET

UTILITY PLAN

C-301

UTILITY LEGEND

REFER TO COM FOR EXISTING FEATURES LEGEND

EXISTINGS	
	BUILDING
	PROPOSED
	SEWER MAIN
	STORM SEWER MAIN
	GAS SERVICE LINE
	UNDERGROUND ELECTRICAL LINE
	UNDERGROUND TELEPHONE LINE
	STORM SEWER
	CURB INLET
	CLEANOUT
	DOWNSPOUT
	ELECTRICAL SERVICE ENTRANCE
	WATER METER
	GAS METER
	HEADWALL WITH ROOM MAT

UTILITY CROSSING SCHEDULE

NO	UTILITY	ELEVATIONS	DIFF
1	8" STM	487.55	1.97
2	2" WAT	487.57	1.97
3	8" STM	485.51	1.97
4	2" WAT	485.53	1.97
5	8" STM	485.56	5.81
6	8" STM	485.30	3.33

STORM SEWER STRUCTURE SCHEDULE

NO	STRUCTURE	RM	INVERT
1	CURB INLET	679.26	679.11 (2' 0")
2	CURB INLET	679.36	679.21 (2' 0")
3	CURB INLET	679.46	679.31 (2' 0")
4	YARD DRAIN	679.56	679.41 (2' 0")
5	48" MOOT MANHOLE	679.66	679.51 (2' 0")
6	CURB INLET	679.76	679.61 (2' 0")
7	CURB INLET	679.86	679.71 (2' 0")
8	INGRESS TEE	679.96	679.81 (2' 0")
9	48" MOOT MANHOLE	679.96	679.81 (2' 0")
10	HEADWALL	679.96	679.81 (2' 0")
11	CURB INLET	679.96	679.81 (2' 0")
12	HEADWALL	679.96	679.81 (2' 0")
13	YARD DRAIN	679.96	679.81 (2' 0")
14	YARD DRAIN	679.96	679.81 (2' 0")
15	HEADWALL	679.96	679.81 (2' 0")
16	MOOT HEADWALL	679.96	679.81 (2' 0")
17	MOOT HEADWALL	679.96	679.81 (2' 0")

SANITARY SEWER STRUCTURE SCHEDULE

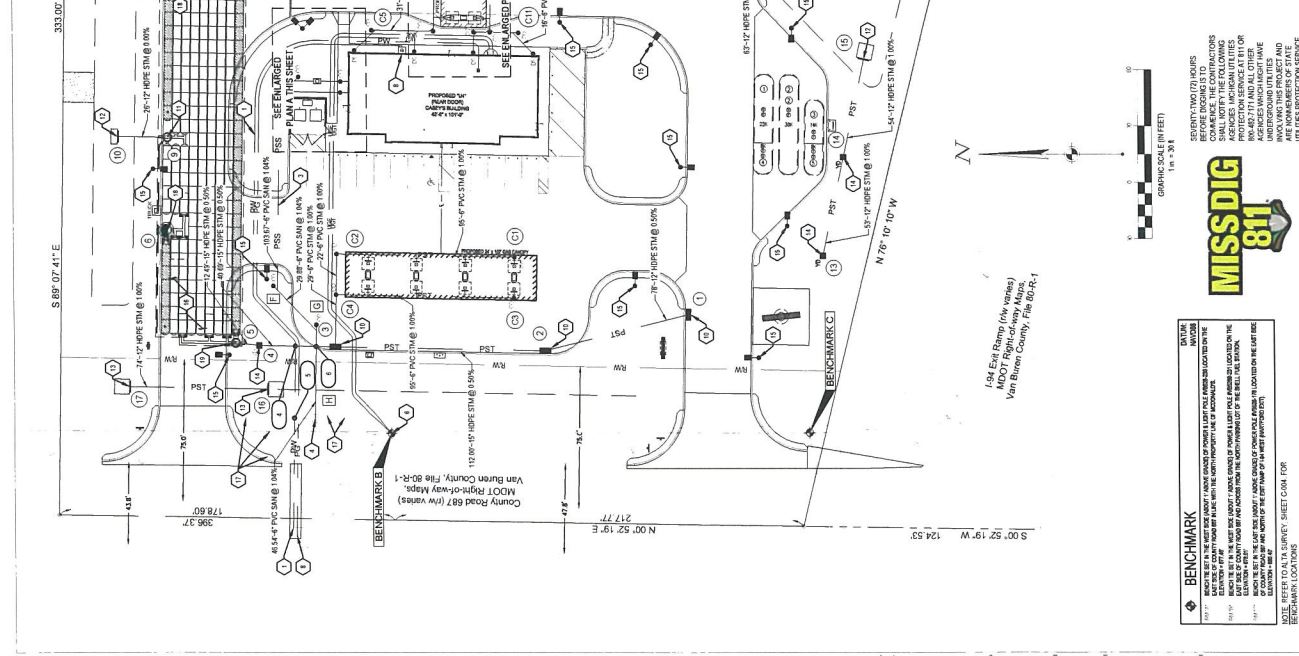
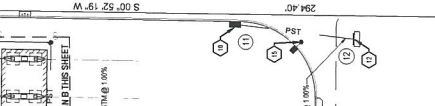
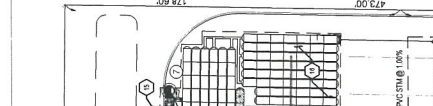
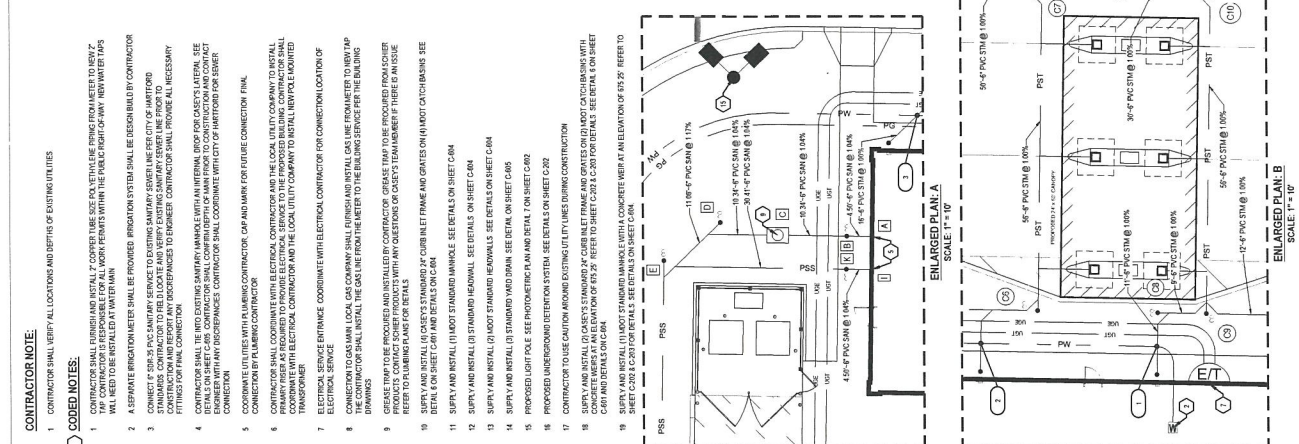
NO	STRUCTURE	RM	INVERT
A	BUILDING INVERT	679.99	679.84 (1' 15")
B	8" CO	679.86	679.71 (2' 15")
C	GREASE INTERCEPTOR	679.86	679.71 (2' 15")
D	8" CO	679.30	679.15 (2' 15")
E	8" CO	679.26	679.11 (2' 15")
F	8" CO	679.31	679.16 (2' 15")
G	8" CO	679.40	679.25 (2' 15")
H	EXISTING MANHOLE WITH HEADWALL DROP	679.40	679.25 (2' 15")
I	BUILDING INVERT	679.89	679.74 (1' 15")
K	8" CO	679.39	679.24 (2' 15")

CONTRACTOR NOTE:

- CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES
- CONTRACTOR SHALL FURNISH AND INSTALL 2" CURB TUBE USE PER ACTUAL DEPTH BEING PARAMETER TO NEW 2" WAT. CONTRACTOR IS RESPONSIBLE FOR ALL WORK REMAINS WITHIN THE PUBLIC RIGHT-OF-WAY. NEW WATER TAPS WILL BE INSTALLED WITHIN MAIN.
- A SEPARATE BRIGADIER MASTER SHALL BE PROVIDED. BRIGADIER SYSTEM SHALL BE DESIGNED BY BRIGADIER CONTRACTOR. CONNECT 4" PVC SANITARY SERVICE TO EXISTING SANITARY SERVICE. THE CITY OF HARTFORD CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS FOR FINAL CONNECTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY WORK FOR SANITARY SERVICE. CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES. CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES. CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES. CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES.
- COORDINATE UTILITIES WITH PLUMBING CONTRACTOR. CAP AND MARK FOR FUTURE CONNECTION. FINAL CONNECTION BY PLUMBING CONTRACTOR.
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CODED NOTES:

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BENCHMARK

NOTE: REFER TO SURVEY SHEET COM FOR BENCHMARK LOCATION

MISS DIG 811

MISS DIG 811 logo

SECURITY TWO (2) HOURS BEFORE DIGGING IS TO ENSURE THAT ALL UTILITIES ARE LOCATED AND MARKED. CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES OF ANY WORK TO BE DONE IN THE PUBLIC RIGHT-OF-WAY. CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES. CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES. CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES. CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES.

Van Buren County, File 60-R-1



CASEY'S #4611
 HARTFORD, MI
 61827 COUNTY ROAD 49057
 Hartford, Michigan 49057

Revision / Description
 01 Drawn By: _____
 02 Checked By: _____
 03 Issued By: _____
 04 Permit Issue: _____
 05 _____
 06 _____
 07 _____
 08 _____
 09 _____
 10 _____
 11 _____
 12 _____
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 17 _____
 18 _____
 19 _____
 20 _____

Project Number: 764449
 AS SHOWN
 Scale: _____
 Drawn By: _____
 Checked By: _____
 Date: 08/09/2024
 Issue: PERMIT SET

Drawing Title: **SWPPP**

C-401

SWPPP LEGEND

REFER TO CASE FOR EXISTING FEATURES LEGEND

EXISTING
 _____ MARK CONTOUR
 _____ PAVED SURFACE
 _____ SILT TRENCH
 _____ STORMWATER
 _____ PERMANENT EROSION CONTROL
 _____ BLANKET OR 1.1 SLIPES OR
 _____ STEEPER

PROPOSED
 _____ CONCRETE WASHOUT
 _____ STORMWATER
 _____ CURB AND GUTTER
 _____ CONSTRUCTION
 _____ TEMPORARY SEEDING
 _____ PERMANENT SOIL
 _____ HAZARDOUS WASTE STORAGE AREA
 _____ FUEL STORAGE AREA
 _____ CONCRETE WASHOUT AREA
 _____ RILEY PROTECTION
 _____ TRASH AREA
 _____ ROCK CHECK DAM

STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PROJECT NARRATIVE

PROJECT INFORMATION
 PROJECT NAME: _____
 PROJECT ADDRESS: _____
 PROJECT PHONE: _____
 PROJECT EMAIL: _____

CONTRACTOR INFORMATION
 CONTRACTOR NAME: _____
 CONTRACTOR ADDRESS: _____
 CONTRACTOR PHONE: _____
 CONTRACTOR EMAIL: _____

PROJECT LOCATION
 PROJECT ADDRESS: _____
 PROJECT CITY: _____
 PROJECT STATE: _____
 PROJECT ZIP: _____

PROJECT DESCRIPTION
 THE PROJECT IS THE CONSTRUCTION OF 655 STAY-IN-PLACE CONCRETE TILES. THE SUBJECT PROPERTY IS LOCATED AT THE INTERSECTION OF COUNTY ROAD 49057 AND COUNTY ROAD 49057. THE PROJECT SITE IS TO BE DEVELOPED TO THE NORTH AND EAST TO FOLLOW EXISTING DAMAGE PATTERNS ON THE SOILS.

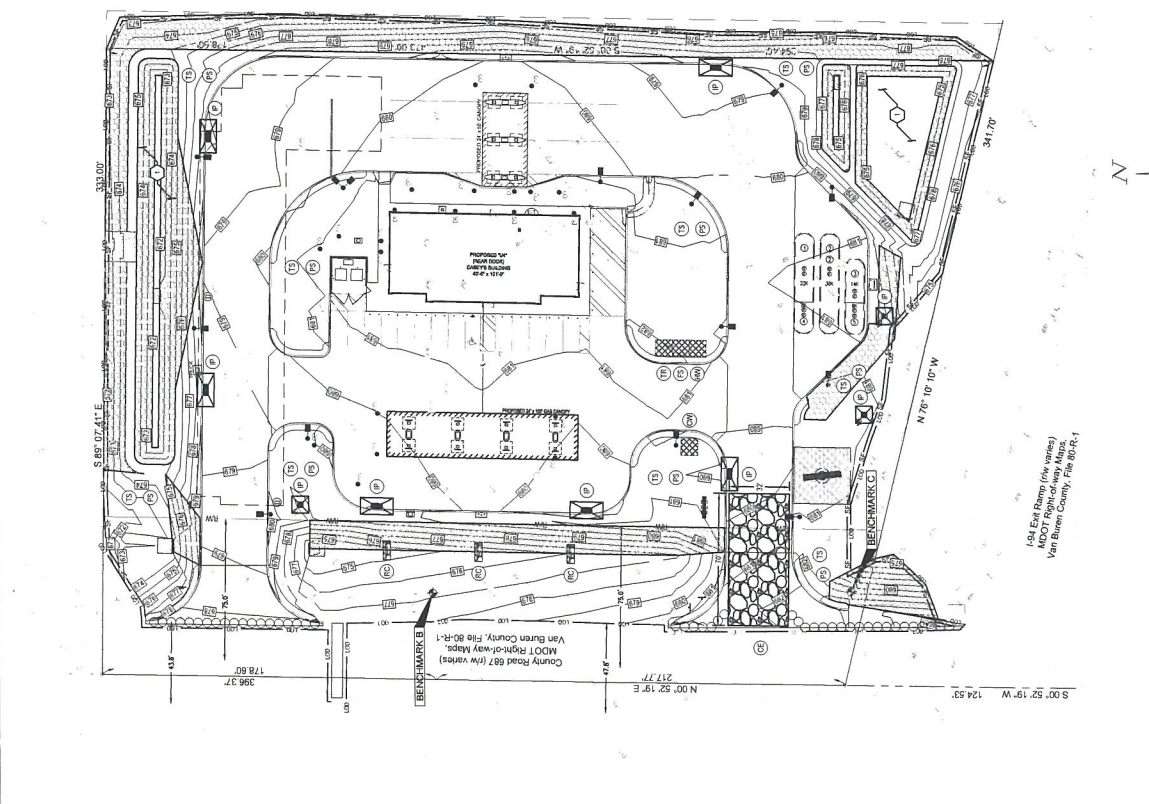
SOILS
 11% CLAY
 68% SAND

HYDROLOGICAL GROUP
 III - INTERMEDIATE SOIL
 70% A

EXISTING ON-SITE CONDITIONS
 THE PROJECT SITE IS TO BE DEVELOPED TO THE NORTH AND EAST TO FOLLOW EXISTING DAMAGE PATTERNS ON THE SOILS.

- SEQUENCE OF CONSTRUCTION**
- NOTIFY LOCAL AGENCIES AND OBTAIN NECESSARY PERMITS.
 - STAKE OUT ALL TRENCHES, CONSTRUCTION ERT, FILL, AND CONSTRUCTION LIMITS.
 - SITE DEMARCATION AND CLEARING.
 - ROAD GRADING, INROADS, TEMPORARY SEEDING OF DISTURBED AREAS WHICH ARE INACTIVE.
 - STORM SEWER AND UNDERGROUND UTILITY INSTALLATION.
 - ROCK CHECK DAMS.
 - CURB CONSTRUCTION.
 - THE GRADING AND PAVEMENT SURFACE PREPARATION.
 - APPLY FINISHING AND FINISHING CONCRETE FINISHWORK.
 - FINAL SEEDING.
 - FINAL CLEANUP.
- COLORED NOTES**
- CONTRACTOR SHALL VERIFY THE SEQUENCE OF CONSTRUCTION BASED ON SITE CONDITIONS. CONTRACTOR TO NOTIFY PROJECT MANAGER PRIOR TO CHANGING SEQUENCE OF CONSTRUCTION.
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- SWPPP GENERAL NOTES**
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PERFORMED ACCORDING TO THE LATEST EPA REGULATIONS AND LOCAL AGENCY REQUIREMENTS. ALL CONTRACTORS AND SUBCONTRACTORS MUST BECOME FAMILIAR WITH ALL OF THE REQUIRED REGULATIONS AND LOCAL AGENCY REQUIREMENTS.
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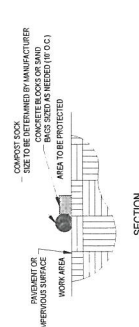
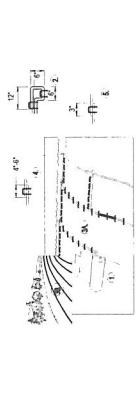


SECURITY/VIDEO TAP
 SECURITY/VIDEO TAP IS TO BE INSTALLED ON ALL CONSTRUCTION EQUIPMENT AND VEHICLES ON SITE. THE SECURITY/VIDEO TAP SHALL MONITOR THE FOLLOWING AREAS:
 - ALL CONSTRUCTION EQUIPMENT AND VEHICLES ON SITE.
 - ALL CONSTRUCTION MATERIALS AND EQUIPMENT ON SITE.
 - ALL CONSTRUCTION AREAS AND UTILITY LINES ON SITE.
 - ALL CONSTRUCTION AREAS AND UTILITY LINES ON SITE.

MISS DIG 811

BENCHMARK
 BENCHMARK LOCATIONS: _____
 BENCHMARK DESCRIPTION: _____
 BENCHMARK DATE: _____

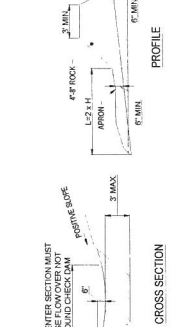
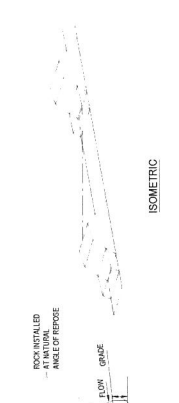
**1.54 East Chicago (Iron w/arsenic)
 MDOT Region 4 (Temp. Materials)
 Van Buren County, The 60-R-1**



NOTES

- PREPARE SOIL BEFORE INSTALLING BLANKETS INCLUDING ANY NECESSARY APPLICATION OF FERTILIZER AND SEED AT THE TOP OF THE SLOPE BY AMENDING THE BLANKET IN A 6" DEEP TRENCH WITH APPROXIMATELY 1" OF FERTILIZER EXTENDING BEYOND THE 1/4" SLOPE DEPTH OF THE TRENCH AS SHOWN IN DETAIL
- TRENCH BACKFILL AND COMPACT THE TRENCH AFTER PLACING APRIL SEED TO COMPACTED SOIL AND FOLD BLANKET INTO TRENCH TO COVER TRENCH AS SHOWN IN DETAIL
- SHOULD THE SOIL BE UNDESIRABLE FOR VEGETATION GROWTH, PLACE FERTILIZER AND SEED ACROSS THE WIDTH OF THE BLANKET
- THE BLANKETS IN TRENCHES SHOULD BE INSTALLED WITH AN OVERLAP OF 12" TO 18" AND SECURED TO THE UNDERLYING SURFACE BY PLACING STAPLES AT PERPENDICULAR LOCATIONS AS PER MANUFACTURER'S RECOMMENDATION
- BLANKETS SHOULD BE INSTALLED OVER UNDISTURBED SOIL TO PROTECT AGAINST EROSION
- ALWAYS PLACE THE EDGE OF THE EROSION CONTROL BLANKET BEING INSTALLED ON TOP EDGE WITH THE SEAM SITUATION PREVIOUSLY INSTALLED BLANKET
- IF THE SOIL IS UNDESIRABLE FOR VEGETATION GROWTH, PLACE SEED OVER ONE OR TWO ESTABLISHED VEGETAL SPECIES APPROXIMATELY 1" OVERLAP STAPLES THROUGH OVERLAP AREA APPROXIMATELY 12" APART ACROSS ENTIRE LENGTH OF SEAM
- PLACE STAPLES PER MANUFACTURER'S RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING APPLIED

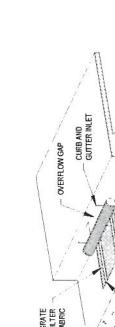
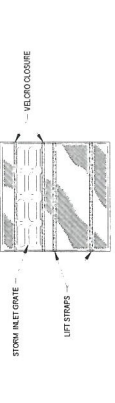
EROSION CONTROL BLANKET



NOTES

- A ROCK CHECK DAM SHALL BE CONSTRUCTED OF 4" ROUNDBOTTOM STONE PLACED TO COVER ENTIRE WIDTH OF CHANNEL
- THE LENGTH OF THE ROCK CHECK DAM SHALL BE A MINIMUM OF 5 FEET
- THE HEIGHT OF THE ROCK CHECK DAM SHALL BE APPROXIMATELY 10 INCHES
- THE BASE OF THE CHECK DAM SHALL BE INTERLOCKED APPROXIMATELY 1/4" INCHES
- THE TOP OF THE CHECK DAM SHALL BE FINISHED TO THE TOP OF THE UPTURNED DAM AS AT THE SAME ELEVATION AT THE TOP OF THE DOWNSTREAM DAM

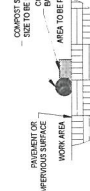
ROCK CHECK DAM



NOTES

- STORM INLET GRATE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" CLEARANCE BETWEEN CURB AND GRATE
- STORM INLET GRATE SHALL BE INSTALLED AT THE TOP OF THE UPTURNED DAM AS AT THE SAME ELEVATION AT THE TOP OF THE DOWNSTREAM DAM
- THE CURB SHALL BE CONSTRUCTED OF 4" ROUNDBOTTOM STONE PLACED TO COVER ENTIRE WIDTH OF CHANNEL
- THE LENGTH OF THE CURB SHALL BE A MINIMUM OF 5 FEET
- THE HEIGHT OF THE CURB SHALL BE APPROXIMATELY 10 INCHES
- THE BASE OF THE CURB SHALL BE INTERLOCKED APPROXIMATELY 1/4" INCHES
- THE TOP OF THE CURB SHALL BE FINISHED TO THE TOP OF THE UPTURNED DAM AS AT THE SAME ELEVATION AT THE TOP OF THE DOWNSTREAM DAM

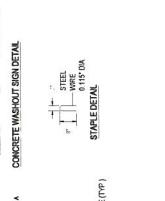
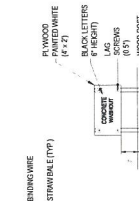
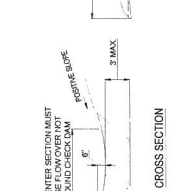
INLET PROTECTION



NOTES

- COMPOST SOCK SHALL BE CONSTRUCTED OF 4" ROUNDBOTTOM STONE PLACED TO COVER ENTIRE WIDTH OF CHANNEL
- THE LENGTH OF THE COMPOST SOCK SHALL BE A MINIMUM OF 5 FEET
- THE HEIGHT OF THE COMPOST SOCK SHALL BE APPROXIMATELY 10 INCHES
- THE BASE OF THE COMPOST SOCK SHALL BE INTERLOCKED APPROXIMATELY 1/4" INCHES
- THE TOP OF THE COMPOST SOCK SHALL BE FINISHED TO THE TOP OF THE UPTURNED DAM AS AT THE SAME ELEVATION AT THE TOP OF THE DOWNSTREAM DAM

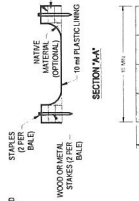
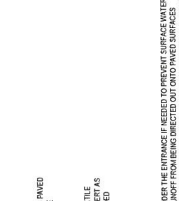
COMPOST SOCK ON PAVEMENT



NOTES

- CONCRETE WASHOUT SIGN SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" THICK CONCRETE
- THE SIGN SHALL BE INSTALLED AT THE TOP OF THE UPTURNED DAM AS AT THE SAME ELEVATION AT THE TOP OF THE DOWNSTREAM DAM
- THE SIGN SHALL BE FINISHED TO THE TOP OF THE UPTURNED DAM AS AT THE SAME ELEVATION AT THE TOP OF THE DOWNSTREAM DAM
- THE SIGN SHALL BE FINISHED TO THE TOP OF THE UPTURNED DAM AS AT THE SAME ELEVATION AT THE TOP OF THE DOWNSTREAM DAM
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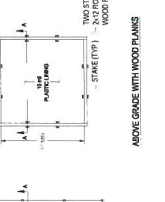
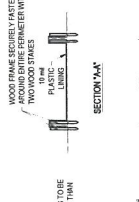
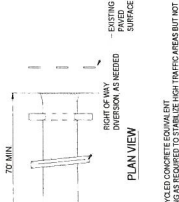
CONCRETE WASHOUT



NOTES

- ACTUAL LAYOUT DETERMINED IN THE FIELD
- THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY
- THE WASHOUT FACILITY SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY
- THE WASHOUT FACILITY SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY
- THE WASHOUT FACILITY SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY

MOVE GRADE WITH WOOD PILES



NOTES

- ACTUAL LAYOUT DETERMINED IN THE FIELD
- THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY
- THE WASHOUT FACILITY SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY
- THE WASHOUT FACILITY SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY
- THE WASHOUT FACILITY SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY

STABILIZED CONSTRUCTION ENTRANCE



TEST METHODS	VALUES
GRASS TENILE STRENGTH	150 LB/FT MINIMUM
GRASS ROOTS DEPTH	10 TO 12 INCHES MINIMUM
EQUIVALENT OPENING SIZE	20 INCHES MAXIMUM
ULTRAVIOLET RADIATION STABILITY	90% MINIMUM

NOTES

- SILT FENCE SHALL BE CONSTRUCTED BEFORE UPLAND
- SILT FENCE SHALL BE CONSTRUCTED BEFORE UPLAND
- SILT FENCE SHALL BE CONSTRUCTED BEFORE UPLAND
- SILT FENCE SHALL BE CONSTRUCTED BEFORE UPLAND
- SILT FENCE SHALL BE CONSTRUCTED BEFORE UPLAND

CRITERIA FOR SILT FENCE MATERIALS

- FENCE POSTS - THE LENGTH SHALL BE A MINIMUM OF 32 INCHES LONG WITH AN END TO END TOLERANCE OF 1/4"
- SILT FENCE FABRIC SHALL BE A MINIMUM OF 150 LB/FT
- FENCE FABRIC SHALL BE A MINIMUM OF 150 LB/FT
- FENCE FABRIC SHALL BE A MINIMUM OF 150 LB/FT

SILT FENCE DETAIL





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HARTFORD, MICHIGAN 49057

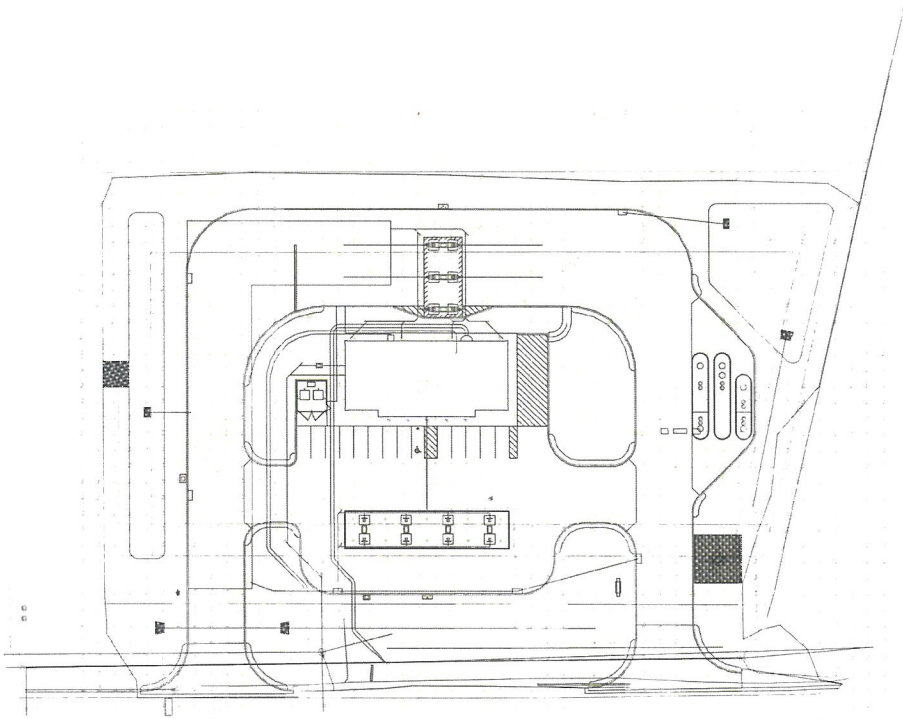
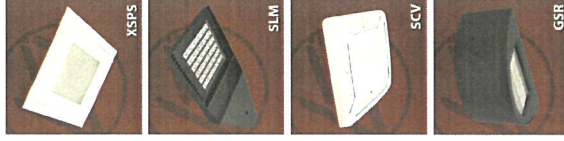
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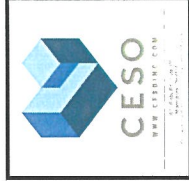
Revisions / Submissions
ID Description Date

Project Number: 784449
Scale: AS SHOWN
Drawn By: DPC
Checked By: JMS
Date: 09/08/2024
Issue: PERMIT SET

Drawing Title:
PHOTOMETRIC PLAN

C-500

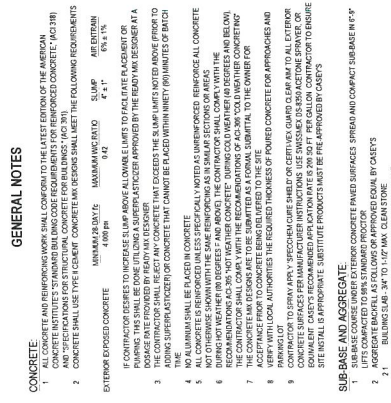
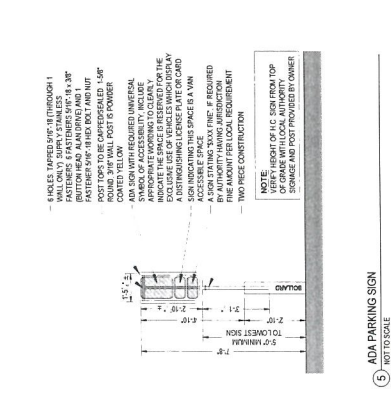
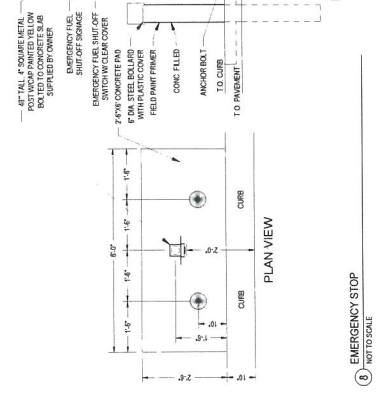
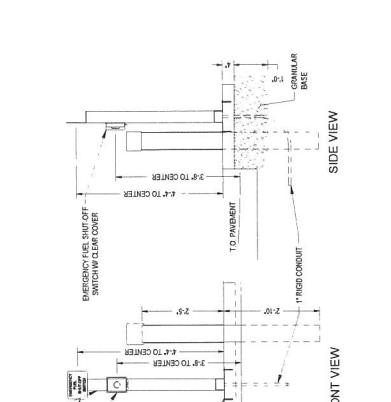
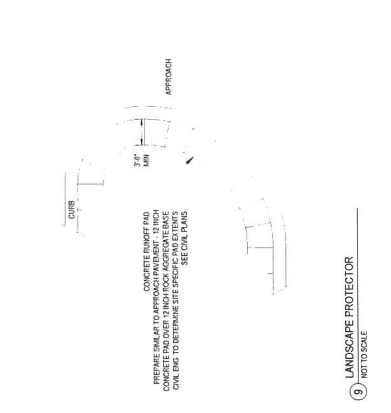
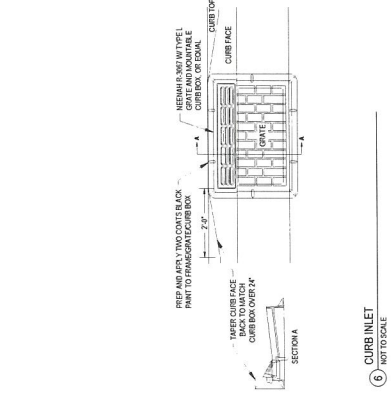
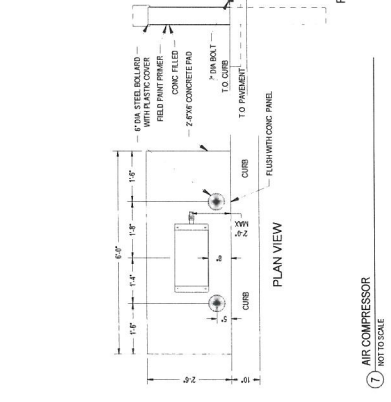
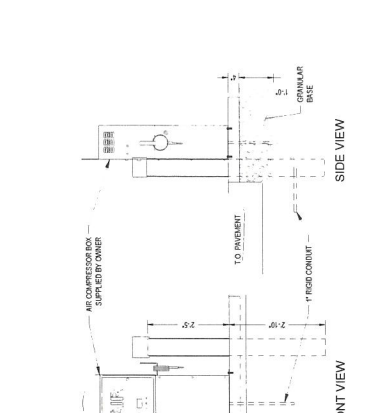
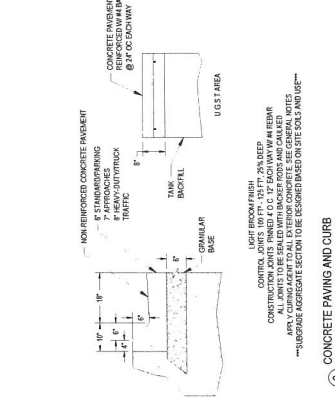
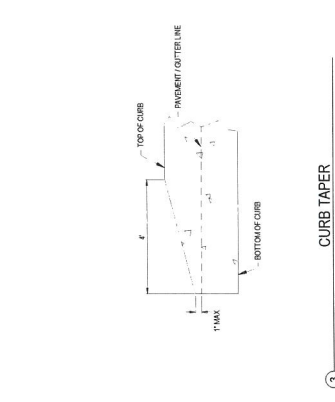
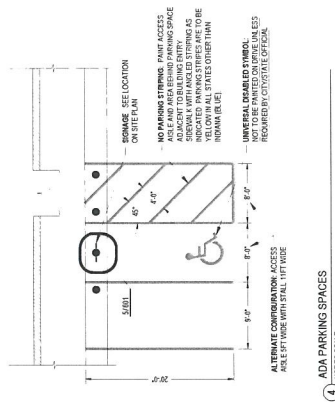




CASEY'S #4611
 HARTFORD, MI
 6127 COUNTY ROAD 687
 HARTFORD, MICHIGAN 49057

ID	Description	Date
Revisions/ Submittals		
Project Number	AS SHOWN	754449
Scale	AS SHOWN	
Checked By	JUS	
Date	08/06/2024	
Issue	PERMIT SET	

CONSTRUCTION DETAILS
C-601



GENERAL NOTES
 1. ALL CONCRETE AND REINFORCING WORK SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTE (ACI) 308R-11. ALL REINFORCING SHALL BE #4 BARS UNLESS OTHERWISE NOTED.
 2. CONCRETE SHALL BE TYPE I-4000. CONCRETE MIX DESIGN SHALL MEET THE FOLLOWING REQUIREMENTS:
 MAXIMUM 28-DAY COMPRESSIVE STRENGTH: 4000 PSI
 AIR CONTENT: 6% ± 1%
 EXTERIOR EXPOSED CONCRETE: 4000 PSI
 IF CONTRACTOR DESIRES TO INCREASE SLUMP ABOVE ALLOWABLE LIMITS TO FACILITATE PLACEMENT OR PUMPING, THIS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 308R-11. THE CONTRACTOR SHALL VERIFY THAT ANY CONCRETE THAT EXCEEDS THE SLUMP LIMITS NOTED ABOVE (PRIOR TO POURING) IS NOT WEAKENED BY THE ADDITION OF WATER. CONCRETE THAT DOES NOT MEET THESE REQUIREMENTS SHALL BE REJECTED AND REMOVED FROM THE PROJECT.
 3. ALL ALUMINUM SHALL BE PLACED IN CONCRETE. ALL ALUMINUM SHALL BE ANODIZED AND FINISHED WITH AN ALUMINUM ENAMEL FINISH.
 4. NO ALUMINUM SHALL BE PLACED IN CONCRETE. ALL ALUMINUM SHALL BE ANODIZED AND FINISHED WITH AN ALUMINUM ENAMEL FINISH.
 5. DURING POOR WEATHER CONDITIONS (WIND, RAIN, OR SNOW), THE CONTRACTOR SHALL COVER WITH THE NOTED CHANGING MATERIALS WITH THE REQUIRED THICKNESS OF POLYURETHANE SHEETING SUBMITTAL TO THE OWNER FOR APPROVAL.
 6. THE CONTRACTOR SHALL VERIFY THAT ALL CONCRETE IS PROPERLY CURED AND CURED TO THE REQUIRED STRENGTH PRIOR TO THE APPLICATION OF FINISHES OR OTHER WORK.
 7. THE CONTRACTOR SHALL VERIFY THAT ALL CONCRETE IS PROPERLY CURED AND CURED TO THE REQUIRED STRENGTH PRIOR TO THE APPLICATION OF FINISHES OR OTHER WORK.
 8. CONCRETE SURFACES PER MANUFACTURER INSTRUCTIONS. USE SWEEPERS OR BRUSH ACTION SPRAYERS OR OTHER MEANS TO REMOVE EXCESSIVE MOISTURE FROM CONCRETE SURFACES PRIOR TO THE APPLICATION OF FINISHES OR OTHER WORK.
 9. ALL MATERIALS AND PRODUCTS SHALL BE APPROVED BY CASEY'S.

SUB-BASE AND AGGREGATE
 1. ALL SUB-BASE AND AGGREGATE SHALL BE COMPACTED TO THE FOLLOWING SPECIFICATIONS:
 1. SUB-BASE: 3" TO 1.5" DIA. CLEAN STONE
 2. AGGREGATE: 3/4" TO 1.5" DIA. CLEAN STONE
 3. BUILDING SIDEWALK: 3" TO 1.5" DIA. CLEAN STONE
 4. SIDEWALK: 3" TO 1.5" DIA. CLEAN STONE
 5. SIDEWALK NOT ADJACENT TO BUILDING: SAME AS PAVEMENT
 6. TANK PIT: SEE OTHER SHEETS

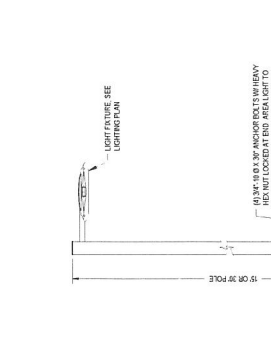


CASEY'S #4611
 HARTFORD, MI
 61827 COUNTY ROAD 687
 HARTFORD, MICHIGAN 49057

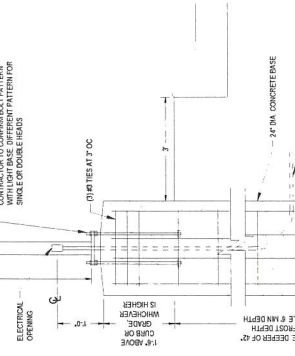
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Checked By:	IMS
Date:	08/05/2024
Issue:	PERMIT SET

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CONSTRUCTION DETAILS

C-602



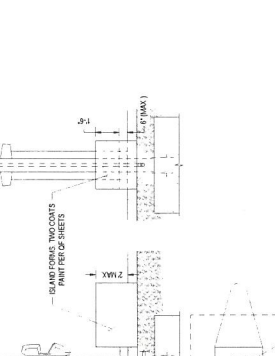
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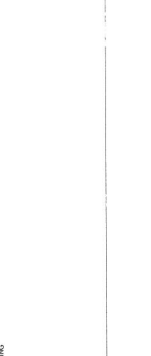
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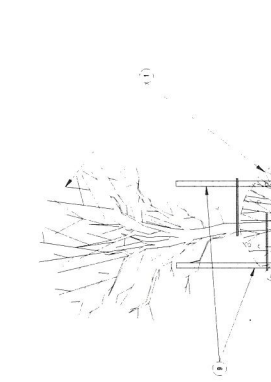
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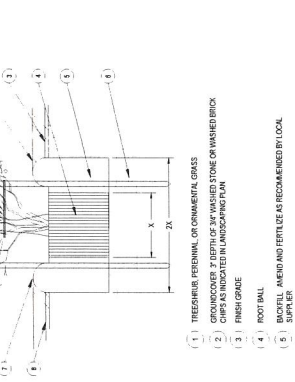
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 1/2" = 1'-0"



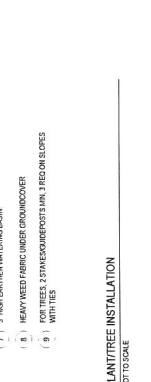
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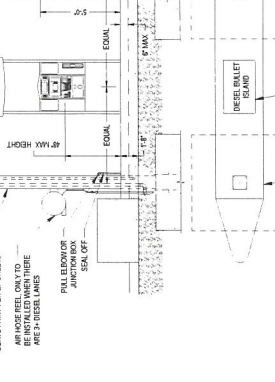
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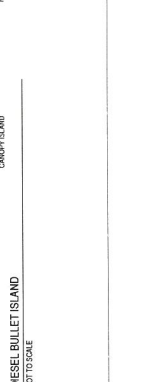
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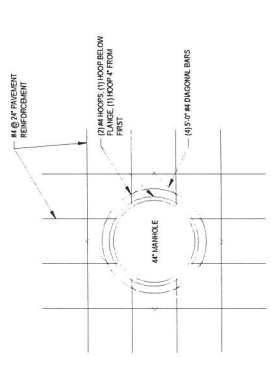
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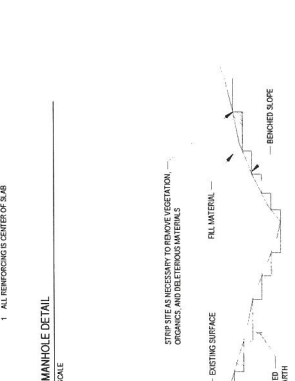
5 Tank Vent Detail - Front
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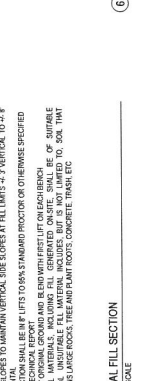
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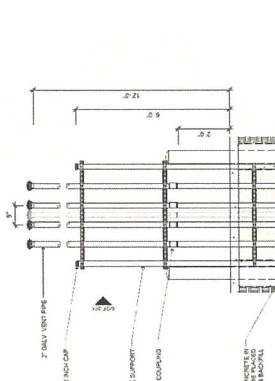
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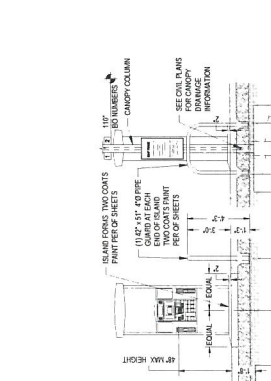
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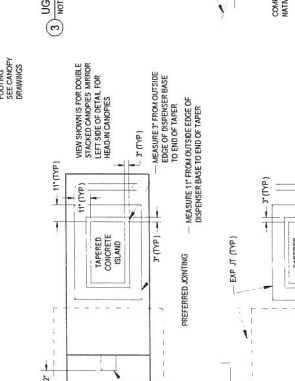
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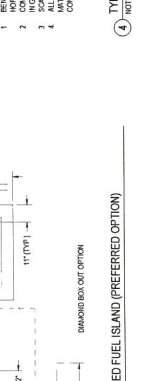
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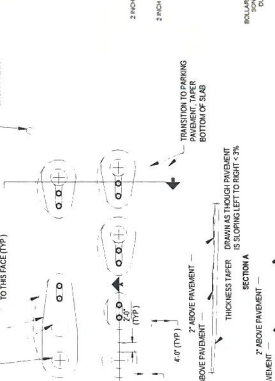
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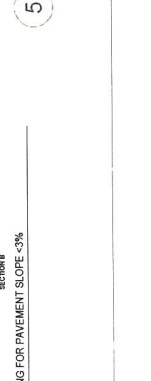
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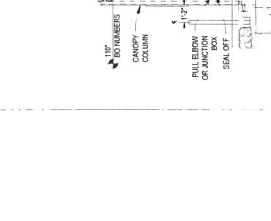
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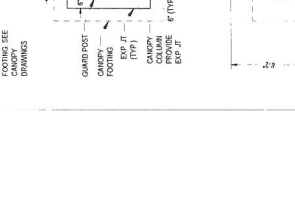
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 1/2" = 1'-0"



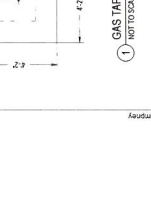
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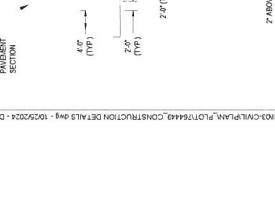
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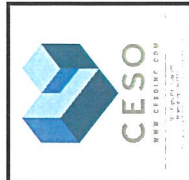
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5 Tank Vent Detail - Front
 1/2" = 1'-0"



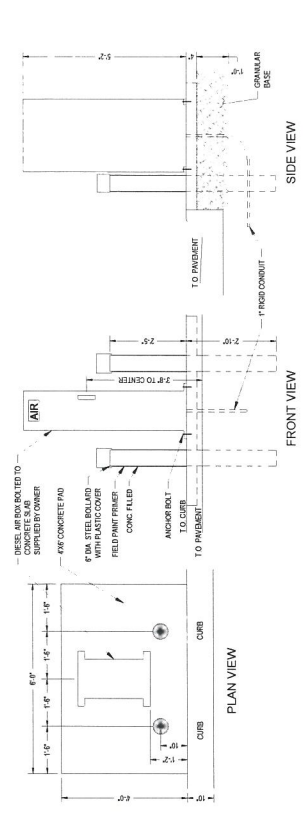
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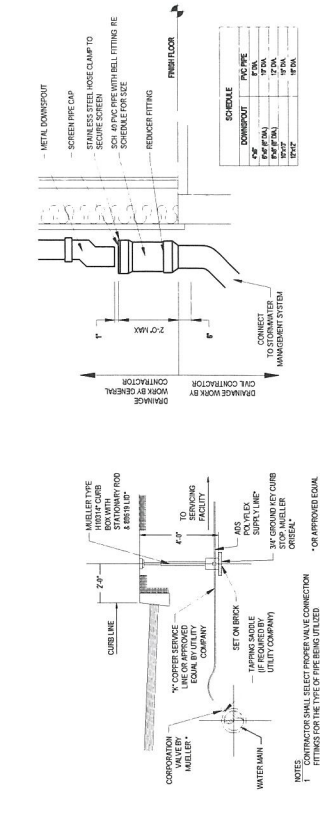
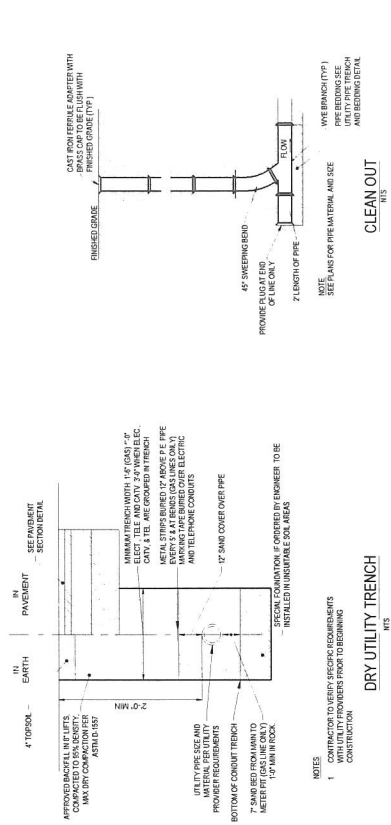
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 HARTFORD, MI
 61827 COUNTY ROAD 697
 HARTFORD, MICHIGAN 49057

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Checked By:	JMS
Date:	02/08/2024
Issue:	PERMIT SET
Drawing Title:	CONSTRUCTION DETAILS

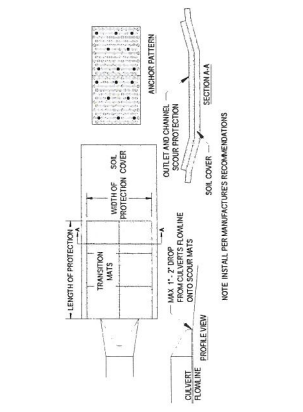
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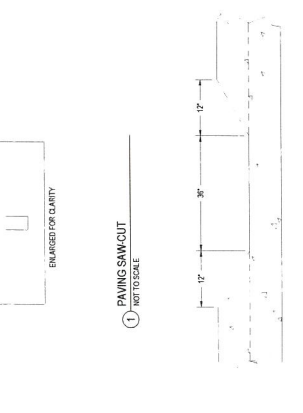
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DOWNSPOUT COLLECTOR DETAIL
 WATER SERVICE CONNECTION



3 SCOUR STOP EROSION CONTROL
 NOT TO SCALE



2 PAVING SAW-CUT
 NOT TO SCALE

ZONE	DEPTH/SOIL MATERIAL
FINAL BACKFILL	CLASS II ¹ DEPTH 12" SOIL MATERIAL
INITIAL BACKFILL	CLASS II ¹ DEPTH 12" SOIL MATERIAL
HAUNCHING	CLASS II ¹ AND III COMPACTED
BEDDING	CLASS II ¹ AND III COMPACTED

NOTE: HAUNCHING ZONES MUST BE COMPACTED FROM TO PLACEMENT AND COMPACTION OF INITIAL AND FINAL BACKFILL TO PREVENT PIPE SINKING.

ZONE	DEPTH/SOIL MATERIAL
FINAL BACKFILL	CLASS II ¹ DEPTH 12" SOIL MATERIAL
INITIAL BACKFILL	CLASS II ¹ DEPTH 12" SOIL MATERIAL
HAUNCHING	CLASS II ¹ AND III COMPACTED
BEDDING	CLASS II ¹ AND III COMPACTED

NOTE: THE HOLE LENGTH THE PIPE MUST IN THE BEDDING ZONE SHALL BE LOOSELY PLACED.

ZONE	DEPTH/SOIL MATERIAL
FINAL BACKFILL	CLASS II ¹ DEPTH 12" SOIL MATERIAL
INITIAL BACKFILL	CLASS II ¹ DEPTH 12" SOIL MATERIAL
HAUNCHING	CLASS II ¹ AND III COMPACTED
BEDDING	CLASS II ¹ AND III COMPACTED

NOTE: FOR SPECIFICATIONS ON SOIL MATERIALS SEE TABLE FOR SPECIFICATIONS ON SOIL MATERIALS. ASSESS FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

CLASS	DESCRIPTION
CLASS I	CRUSHED ROCK (ANGULAR OR D20)
CLASS II	GRAVEL AND/OR SANDS, WITH LITTLE OR NO FINES
CLASS III	SANDS, SILTS AND SAND/CLAY MIXTURES
CLASS IV	INORGANIC CLAYS
CLASS V	ORGANIC SILTS, CLAYS AND PEATS

NOTE: SOIL CLASSIFICATIONS AS DEFINED IN AISC 15.4(N).

UTILITY PIPE TRENCH AND BEDDING

TABLE 1: BACKFILL AND EMBEDMENT MATERIALS
 SOIL CLASSIFICATIONS AS DEFINED IN AISC 15.4(N) AND (D20)

NOTES:
 1 MATERIAL AS SPECIFIED BY GEOTECHNICAL ENGINEER.
 2 CONTRACTOR TO MAINTAIN EXISTING TRENCHES DURING CONSTRUCTION.
 3 TRENCH REPAIRS SHALL CONFORM TO ALL OHM REQUIREMENTS.
 4 TRENCHES SHALL BE FURNISHED WITH A 12" (MIN) THICK TRACER WIRE LOCATED AT THE TOP OF THE PIPE WITHIN THE INITIAL BACKFILL.
 5 BELOW FINISHED SURFACE ELEVATION. INSTALL TRACER WIRE LOCATED AT THE TOP OF THE PIPE WITHIN THE INITIAL BACKFILL.

DESIGNED NOTES:
 1 CERTAIN SECTIONS OF TRENCHES SHALL BE FURNISHED WITH SUITABLE MATERIAL AS SPECIFIED BY GEOTECHNICAL ENGINEER.
 2 TRENCH REPAIRS SHALL CONFORM TO ALL OHM REQUIREMENTS.
 3 TRENCHES SHALL BE FURNISHED WITH A 12" (MIN) THICK TRACER WIRE LOCATED AT THE TOP OF THE PIPE WITHIN THE INITIAL BACKFILL.
 4 TRENCHES SHALL BE FURNISHED WITH A 12" (MIN) THICK TRACER WIRE LOCATED AT THE TOP OF THE PIPE WITHIN THE INITIAL BACKFILL.
 5 BELOW FINISHED SURFACE ELEVATION. INSTALL TRACER WIRE LOCATED AT THE TOP OF THE PIPE WITHIN THE INITIAL BACKFILL.

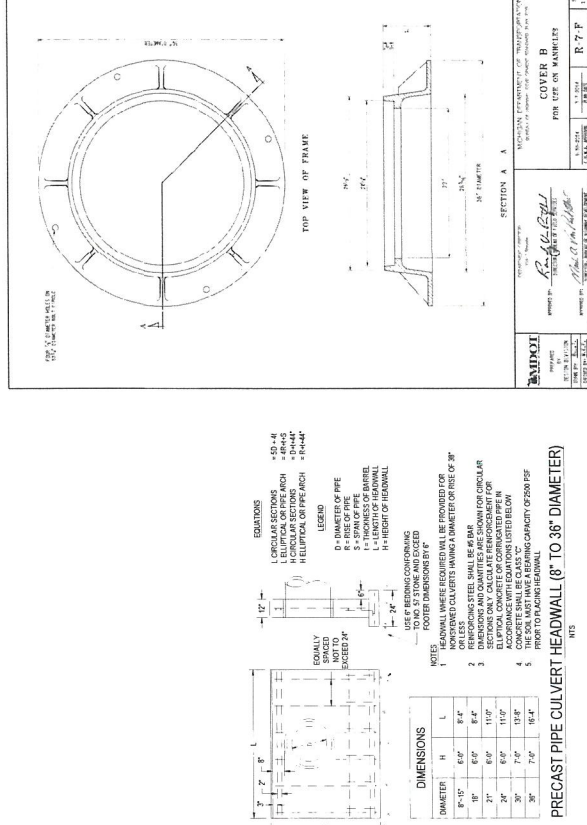
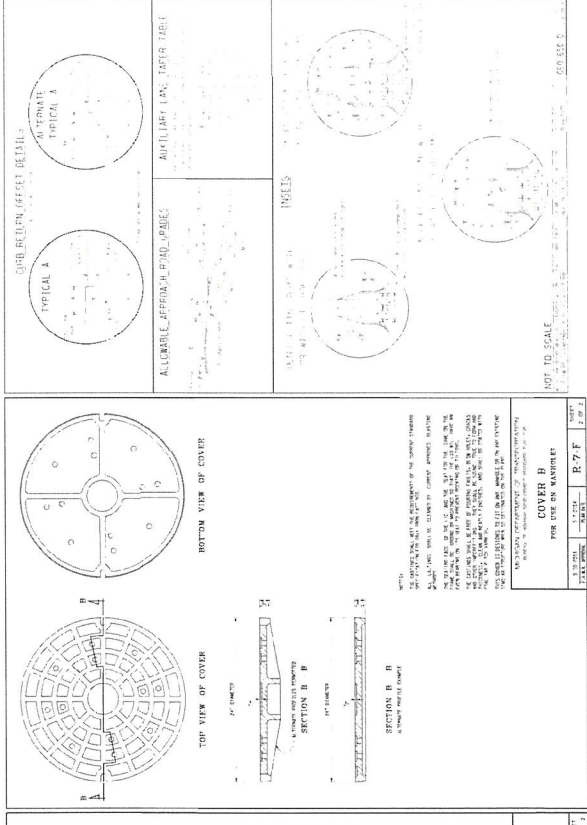
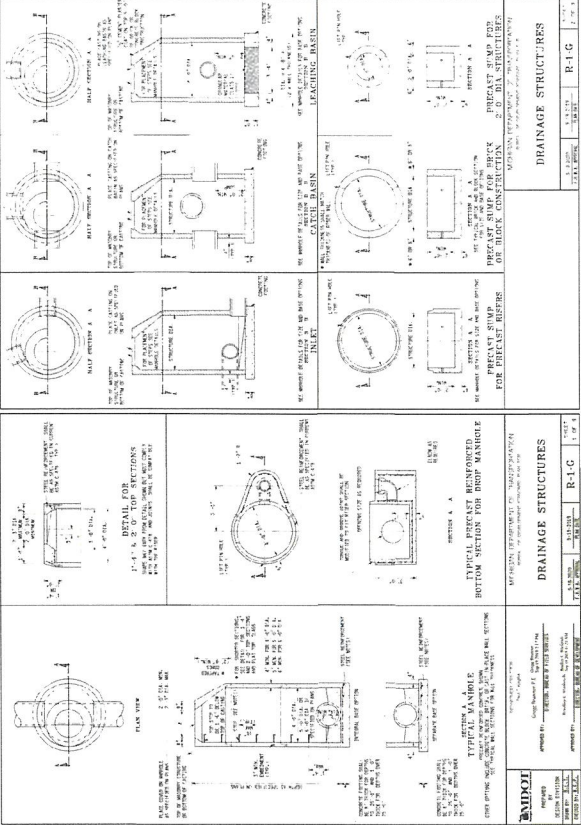


10/28/2024
 HARTFORD, MI
 CASEY'S #4611

1827 COUNTY ROAD 687
 HARTFORD, MICHIGAN 48057

Project Number: 764449
 Scale: AS SHOWN
 Drawn By: DPC
 Checked By: JMS
 Date: 08/06/2024
 Issue: PERMIT SET

Drawing Title: CONSTRUCTION DETAILS
 C-604



LEGEND

1. HEADWALL WHERE REQUIRED WILL BE PROVIDED FOR FOOTER DIMENSIONS BY CONTRACTOR

2. REINFORCING STEEL SHALL BE AS SHOWN

3. REINFORCING STEEL SHALL BE AS SHOWN

4. CONCRETE SHALL BE CLASS "C" CONCRETE WITH A COMPRESSIVE STRENGTH OF 4000 PSI

5. PRIOR TO TYPING HEADWALL

CONSTRUCTION DETAILS

PRECAST PIPE CULVERT HEADWALL (8" TO 36" DIAMETER)

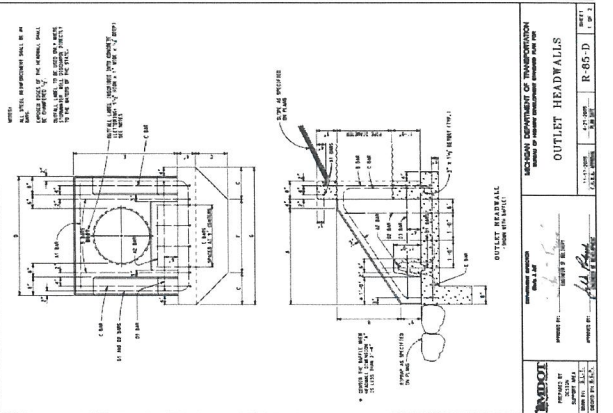
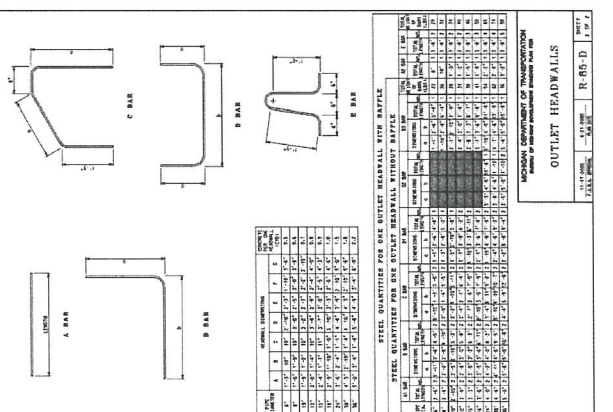
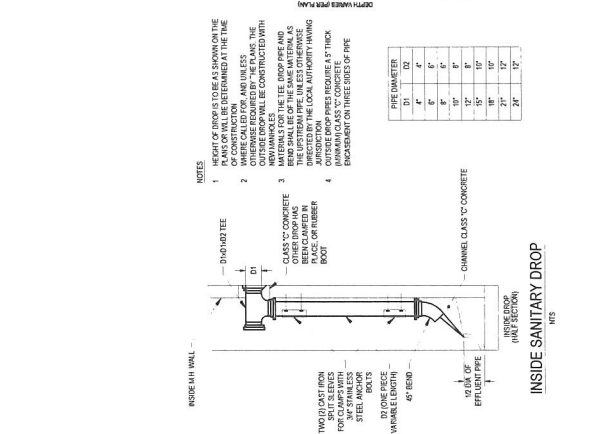
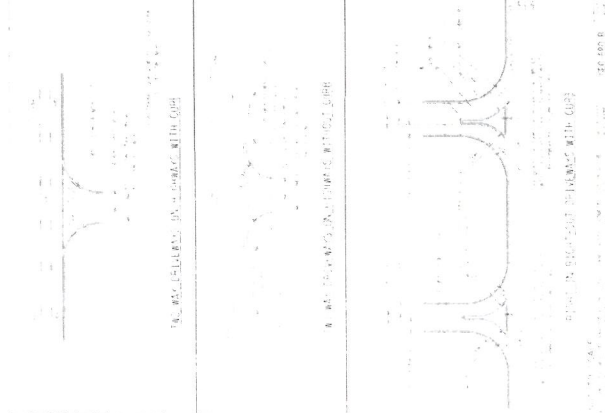
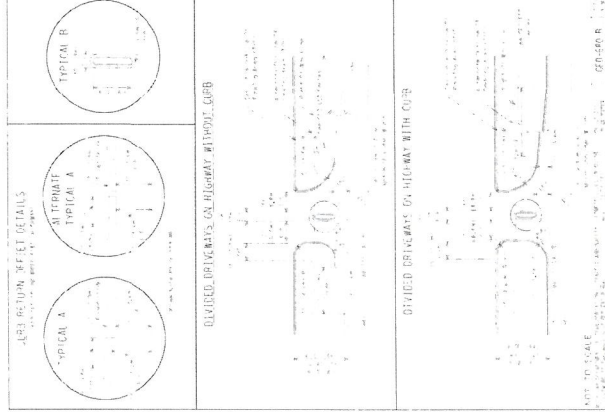
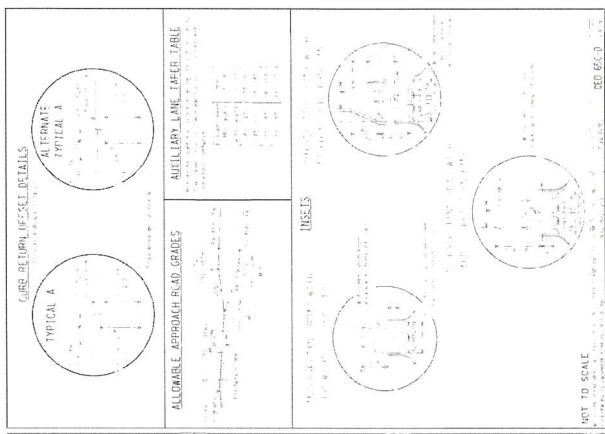
10/28/2024 - 10/28/2024 - Owen Chompany



CASEY'S #4611
 HARTFORD, MI
 61927 COUNTY ROAD 697
 HARTFORD, MICHIGAN 49057

Revisions / Submitters Date
 ID Description
 Project Number: 764449
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Drawing Title: **CONSTRUCTION DETAILS**
C-605





CASEY'S #4611
 HARTFORD, MI
 81827 COUNTY ROAD 687
 HARTFORD MICHIGAN 49057

Project Number: 76449
 Scale: AS SHOWN
 Drawn By: ABS
 Checked By: EAB
 Date: 06/06/2024
 Issue: PERMIT SET

Drawing Title: **PLANTING PLAN**
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GENERAL LANDSCAPE NOTES

- CONTRACTOR REQUIRED TO PERFORM MOW, CLEARING AND GRUBBING SERVICES FOR SCOOPED AREAS. TRUNKS AND SCRUBS USE MATERIAL. IT IS POSSIBLE THE WAY INCLUDES SOME FINE GRADING IN ORDER TO ADDRESS THE CONCERNED AREAS. CONTRACTOR SHALL PROVIDE PROTECTIVE BARRIERS ON TRIPPING HAZARDS PRESENT. CONTRACTOR SHOULD PROVIDE PROTECTIVE BARRIERS FOR ALL TREE ONLY. FOR ANY HAZARD FOR ALL LATER AREAS AND ENTIRE PLANTING BED IS NOT REQUIRED. SEE DETAILS AND NOTES FOR FURTHER INFORMATION. CONTRACTOR SHALL PROVIDE PROTECTIVE BARRIERS FOR ALL LATER AREAS. CONTRACTOR SHALL PROVIDE PROTECTIVE BARRIERS FOR ALL LATER AREAS. CONTRACTOR SHALL PROVIDE PROTECTIVE BARRIERS FOR ALL LATER AREAS.
- AREAS OF THE LAWN WAY CONTAIN CATCH BASINS AND AERIAL DRAINAGE. CONTRACTOR SHALL USE THESE AREAS TO PROVIDE PROTECTIVE BARRIERS FOR ALL LATER AREAS. CONTRACTOR SHALL PROVIDE PROTECTIVE BARRIERS FOR ALL LATER AREAS. CONTRACTOR SHALL PROVIDE PROTECTIVE BARRIERS FOR ALL LATER AREAS.
- CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN SIZE AS INDICATED IN THE PLANT SCHEDULE. CONTRACTOR SHALL PROVIDE PROTECTIVE BARRIERS FOR ALL LATER AREAS. CONTRACTOR SHALL PROVIDE PROTECTIVE BARRIERS FOR ALL LATER AREAS. CONTRACTOR SHALL PROVIDE PROTECTIVE BARRIERS FOR ALL LATER AREAS.
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LEGEND

- RIGHT OF WAY LINE
- LOT LINE
- PROPERTY BOUNDARY LINE
- EASEMENT LINE
- SPURT TRAIL LINE
- TREE PROTECTION FENCE
- PROPOSED FENCE
- PROPOSED CONCRETE
- SHOWWALK OR TRUCK
- OVERHEAD POWER LINE
- STONE/BRICK
- SMARTER CENTER
- WATER LINE
- GAS LINE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND ELECTRIC LINE
- EXISTING TREE CANOPY
- SOIL LIMIT
- SHALE
- MAJOR EXISTING CONTOUR
- MAJOR ENGINEERED CONTOUR
- 700
- 712
- MAJOR ENGINEERED CONTOUR
- MAJOR PROPOSED CONTOUR
- 54
- MAJOR ENGINEERED CONTOUR
- MAJOR ENGINEERED CONTOUR

MULCH

ALL PLANT BEDS SHALL CONTAIN AT LEAST ONE LAYER OF BRICK CHIP MULCH. PROVIDE A SAMPLE FOR REVIEW PRIOR TO INSTALLATION. CONTRACTOR TO PLACE 4" DIAMETER MULCHING AROUND ALL TREES IN LANE.

IRRIGATION

CONTRACTOR SHALL PROVIDE IRRIGATION SYSTEM WITH 1/2" POLYETHYLENE GLASS REINFORCED PIPE. PROVIDE A SAMPLE FOR REVIEW PRIOR TO INSTALLATION. REFER TO UTILITY PLAN FOR METER LOCATION. MOUNT MAIN SERVICE ON BACK OF BUILDING OR FRONT OF PROPERTY. PROVIDE A SAMPLE FOR REVIEW PRIOR TO INSTALLATION. REFER TO UTILITY PLAN FOR METER LOCATION. MOUNT MAIN SERVICE ON BACK OF BUILDING OR FRONT OF PROPERTY. PROVIDE A SAMPLE FOR REVIEW PRIOR TO INSTALLATION. REFER TO UTILITY PLAN FOR METER LOCATION. MOUNT MAIN SERVICE ON BACK OF BUILDING OR FRONT OF PROPERTY.

LANDSCAPE REQUIREMENTS

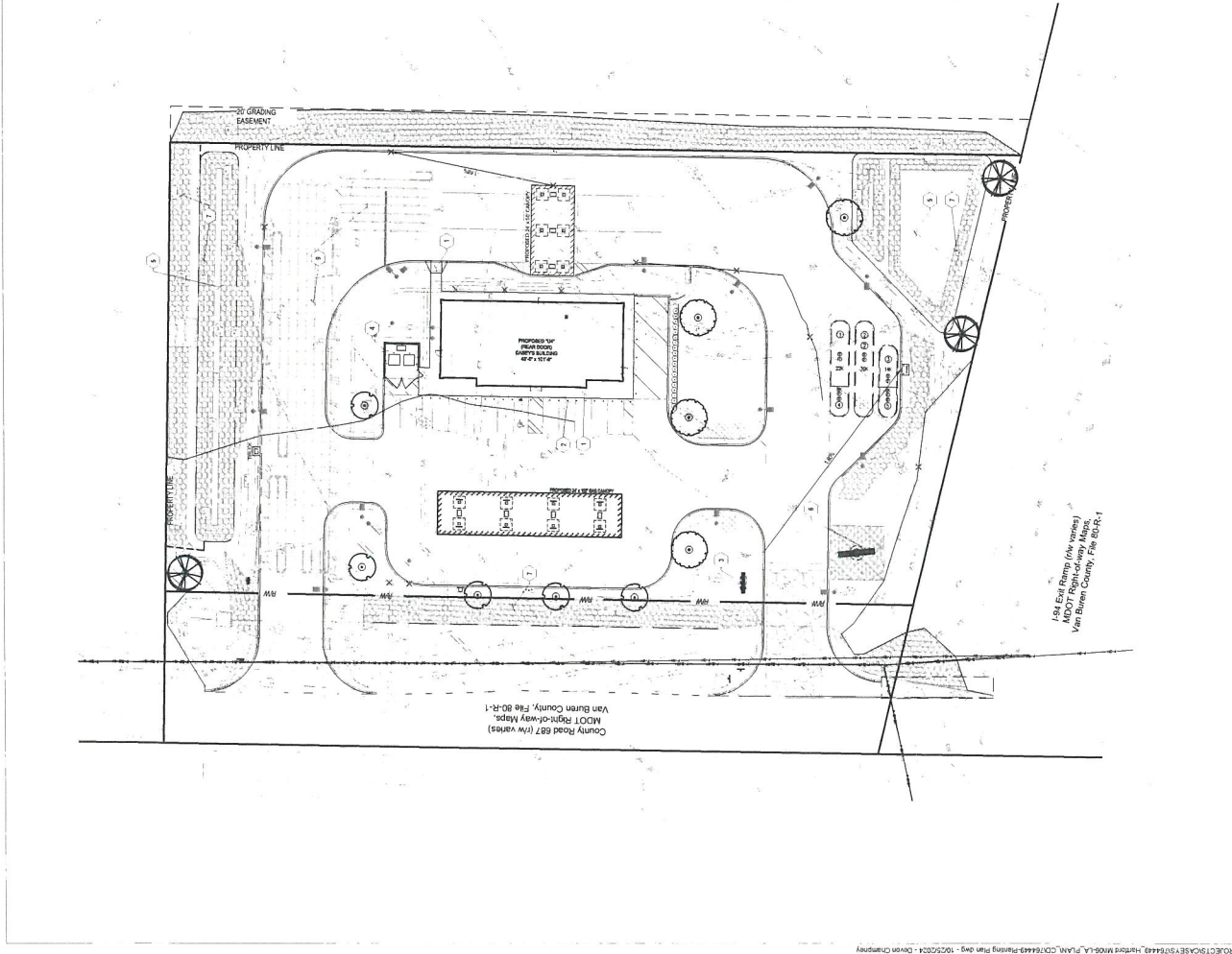
LANDSCAPE AREA REQUIREMENTS: 15% OF SITE
 5000 SF SITE
 1000 SF PLANTING AREA
 1000 SF PLANTING AREA
 PROVIDED: 12 TREES AND 15 SHRUBS

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT. / SPFR	SPACING
(Symbol)	4	CAROLINA YEW	7" CAL	10' HT	AS SHOWN
(Symbol)	5	CEDARS CAMERDIUS	7" CAL	8' HT	AS SHOWN
(Symbol)	3	QUEEN PALM	7" CAL	10' HT	AS SHOWN
(Symbol)	10	LEO GUMMA		24" HT	3' P.C.
(Symbol)		AMBERY HOLLY			
GROUND COVERS					
(Symbol)	620 SF	POA PRATENSIS	SEED		
(Symbol)	1980 SF	PERITON TILLAGRASS	500		
(Symbol)	2336 SF	PERMANENT EROSION CONTROL BLANKET	PERC		SEE DETAIL ON SHEET P-42

CORED NOTES:

- PROPOSED SERRAVALLE
- CAREX TYPICAL BOLLARD
- CAREX PICKER FOR BOLLARD PLANT
- PROPOSED CONCRETE ENCLOSURE
- PROPOSED DETENTION BASIN
- PROPOSED HIGH RISE SOIL
- PROPOSED PERMANENT EROSION CONTROL (SEE SWP1)
- PROPOSED UNDERGROUND STORAGE WATER STORAGE





CASEY'S #4611
 61027 COUNTY ROAD 687
 HARTFORD, MICHIGAN 49057

Revision 1 of 1
 Date: _____
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LANDSCAPE DETAILS
AND NOTES

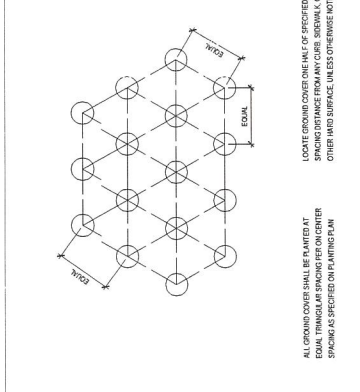
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GENERAL NOTES: LANDSCAPE PLAN

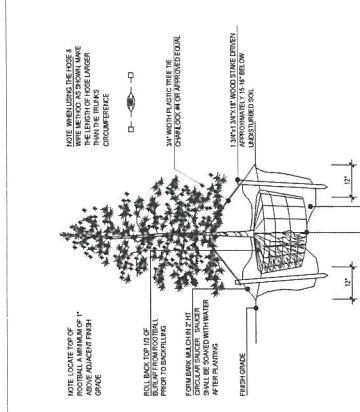
1. WHETHER SHOWN ON THE PLANS OR NOT, THE CONTRACTOR SHALL CALL UTILITIES LOCATE SERVICE 72 HOURS PRIOR TO CONSTRUCTION TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, CONDUITS, AND PIPES WITH A GROUND PENETRATING RADAR (GPR) PRIOR TO ANY EXCAVATION OR TRENCHING. REPORT ALL FINDINGS TO THE ARCHITECT IMMEDIATELY.
3. REFER TO THE CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS AND COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS AS NEEDED.
4. REEVALUATE EXISTING TREE PLANTS DESTROYED BY GRADING OR UTILITY TRENCHING, INCLUDING AREAS IN FRONT OF ANY, TO DETERMINE IF REPLACEMENT IS NECESSARY.
5. CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUANTITY AND DEPTH. DO NOT START ANY WORK UNTIL LANDSCAPING CONDITIONS HAVE BEEN CORRECTED. VERIFY FLATS OF WORK BEFORE STARTING.
6. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
7. CONTRACTOR TO FIVE GRADE AND PROTECT AGAINST ALL TYPES OF PESTS AND DISEASES. MAINTAIN POSITIVE DRAINAGE AND PROTECT AGAINST ALL TYPES OF PESTS AND DISEASES. MAINTAIN POSITIVE DRAINAGE AND PROTECT AGAINST ALL TYPES OF PESTS AND DISEASES.
8. PROTECT EXISTING TREES FROM ROOT COLLARS AND SOIL COMPACTED BY CONSTRUCTION EQUIPMENT. REMOVE AND REPLACE MULCH AND FERTILIZER AS NEEDED.
9. QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN ESTIMATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED. CONTRACTOR SHALL VERIFY ALL QUANTITIES AND SPECIFICATIONS WITH THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
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13. ONCE PROJECT IS COMPLETED, THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
14. THE LANDSCAPE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE ARCHITECT PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT WRITTEN APPROVAL WILL BE REJECTED BY THE ARCHITECT AND REJECTED BY THE CONTRACTOR AT HIS OWN RISK.
15. PRIOR TO WORKING ON THE PROJECT, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT, IN WRITING, IF HE/SHE BELIEVES ANY OF THE PLANT MATERIAL SHOWN ON THE PLANS IS NOT SUITABLE FOR THE CLIMATE OR SOIL CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY SUCH CONCERNS.
16. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY SUCH CONCERNS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY SUCH CONCERNS.
17. ALL PLANT MATERIALS TO BE TOP DRESSED WITH MULCH AS SPECIFIED IN PLANT SPECIFICATION. MULCH SHALL BE APPLIED OVER THE PLANTING BEDS AS SPECIFIED ON THE PLANS UNLESS OTHERWISE NOTED.
18. BED EDGE TO BE NO LESS THAN 12" AND NO MORE THAN 18" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING WHERE GROUND COVER OCCURS. PLANT TO LIMITS OF AREA AS SHOWN.
19. INITIAL LANDSCAPE MAINTENANCE TO BE PROVIDED BY THE CONTRACTOR FOR ONE YEAR FROM THE DATE OF PLANTING. UNLESS OTHERWISE SPECIFIED IN WRITING, THE CONTRACTOR SHALL PROVIDE INITIAL MAINTENANCE FOR ONE YEAR FROM THE DATE OF PLANTING. UNLESS OTHERWISE SPECIFIED IN WRITING, THE CONTRACTOR SHALL PROVIDE INITIAL MAINTENANCE FOR ONE YEAR FROM THE DATE OF PLANTING.
20. ALL LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH LOCAL GOVERNING STATUTES. IN ADDITION TO OWNER REQUIREMENTS.
21. ALL PLANTING SHALL BE DONE BY A QUALIFIED CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLANTING. UNLESS OTHERWISE SPECIFIED IN WRITING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLANTING. UNLESS OTHERWISE SPECIFIED IN WRITING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLANTING.
22. REFER TO PROJECT MANUAL OR WRITTEN SPECIFICATIONS IF AVAILABLE FOR ADDITIONAL REQUIREMENTS.

SOIL PLANTING MIXTURE (MIX ON SITE)

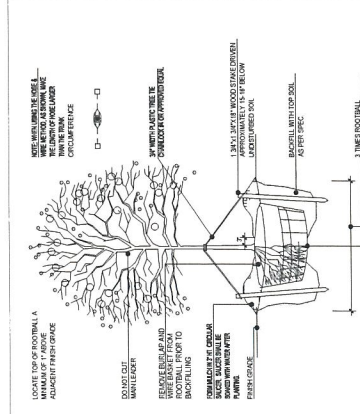
1. THE LANDSCAPE CONTRACTOR SHALL FURNISH FROM THEIR SOURCE A GOOD CLEAN NATIVE SOIL WHICH SHALL BE APPLIED TO THE PLANTING MIXTURE. THIS SOIL SHALL BE USED FOR THE PLANTING MIXTURE AS FOLLOWS:
 - 1A. ONE PART COPROSTHUMMARE PLANTING MIX.
 - 1B. ONE PART NATIVE SOIL.
2. SOILS WITHIN PLANTING AREAS MUST BE SUITABLE FOR PROPOSED PLANT MATERIAL. SOIL WITHIN PLANTING AREAS MUST BE SUITABLE FOR PROPOSED PLANT MATERIAL. SOIL WITHIN PLANTING AREAS MUST BE SUITABLE FOR PROPOSED PLANT MATERIAL.
3. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PLANTING MIXTURE. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PLANTING MIXTURE. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PLANTING MIXTURE.



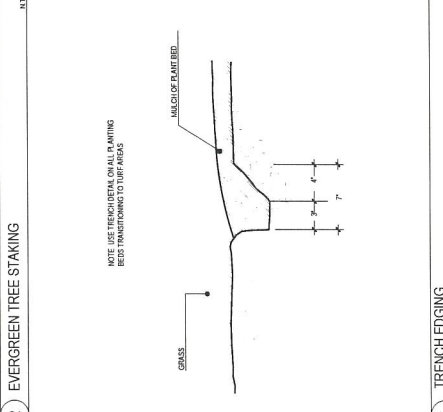
3. GROUND COVER SPACING



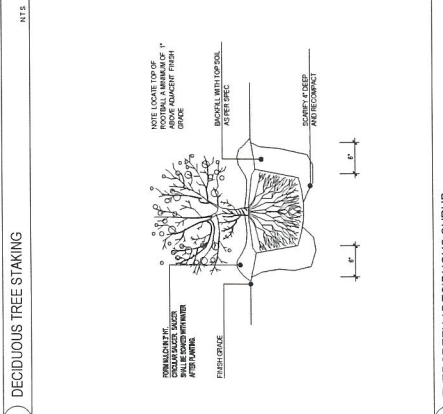
2. EVERGREEN TREE STAKING



1. DECIDUOUS TREE STAKING



5. TRENCH EDGING



4. EVERGREEN / DECIDUOUS SHRUB